



Fact Sheet

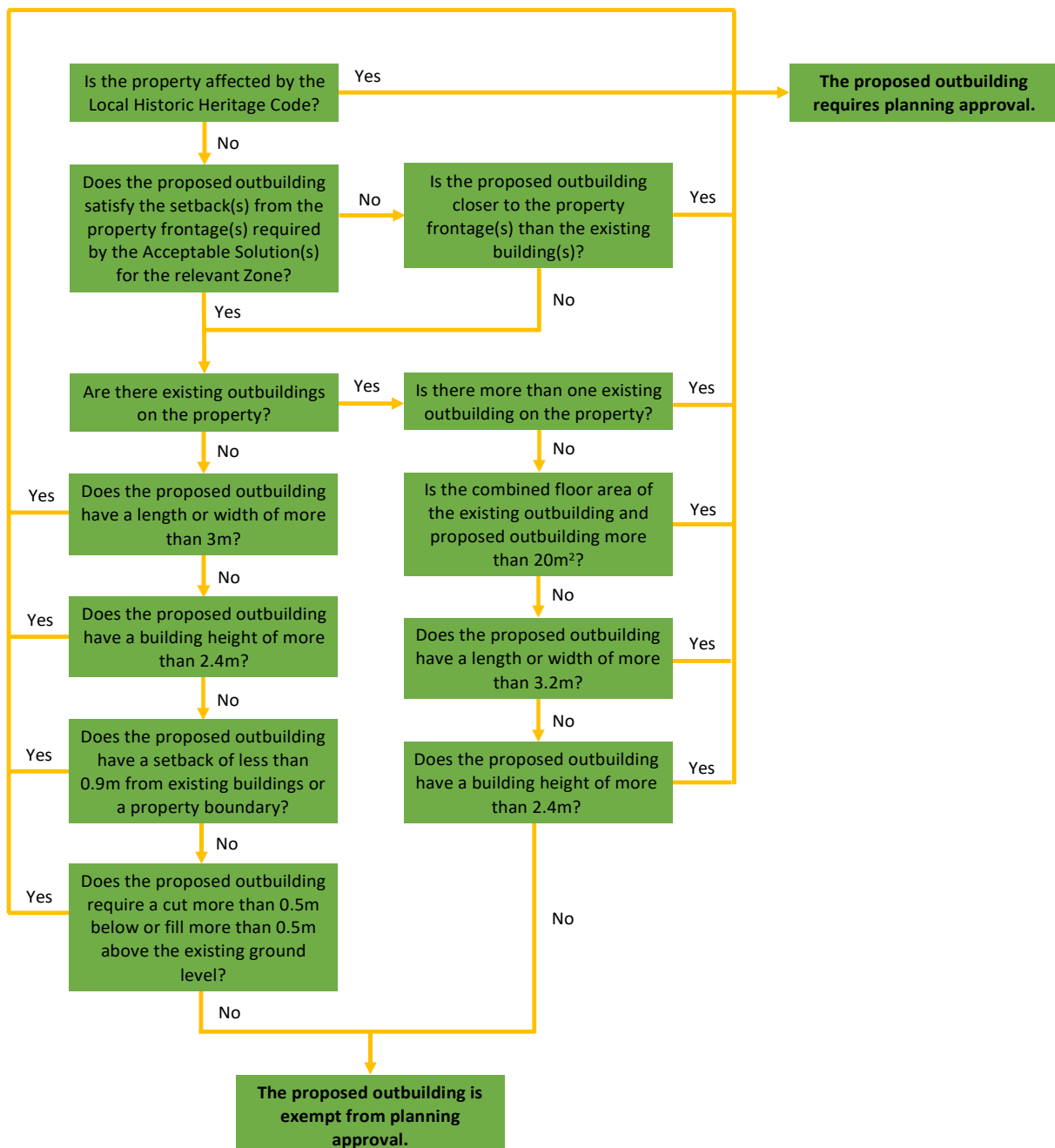
PLANNING EXEMPTIONS FOR OUTBUILDINGS & AGRICULTURAL BUILDINGS

This fact sheet provides information only and is not intended to be given as planning advice. Before constructing or placing an outbuilding or an agricultural building on any property in the municipality, it is your responsibility to seek expert planning advice.

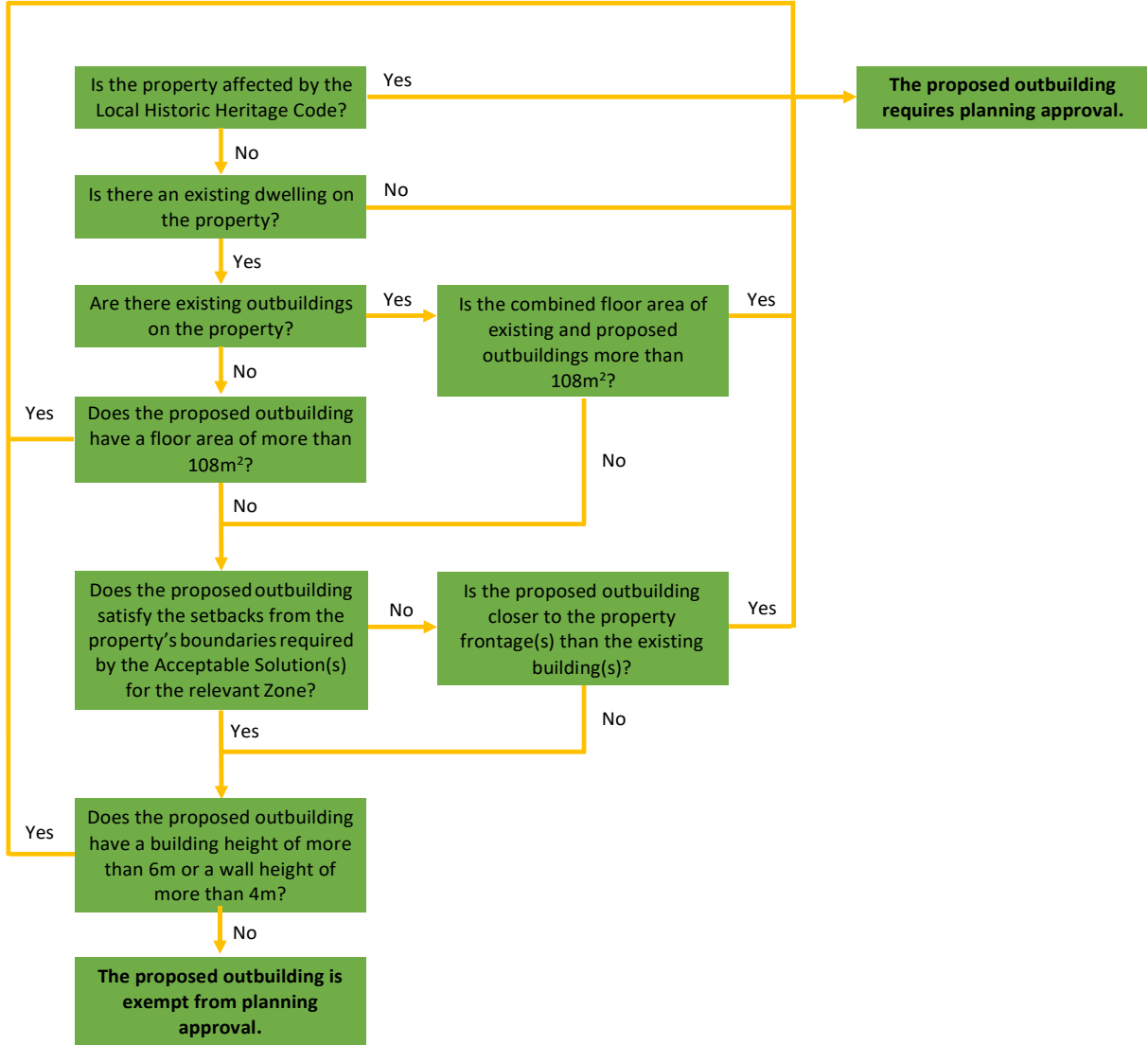
What is an outbuilding?

An outbuilding is a non-habitable detached building of Class 10a of the *Building Code of Australia* and includes a carport, garage, shed or shipping container for domestic use only.

General planning exemptions for outbuildings



Specific planning exemptions for outbuildings in the Agriculture Zone, Rural Zone and Rural Living Zone

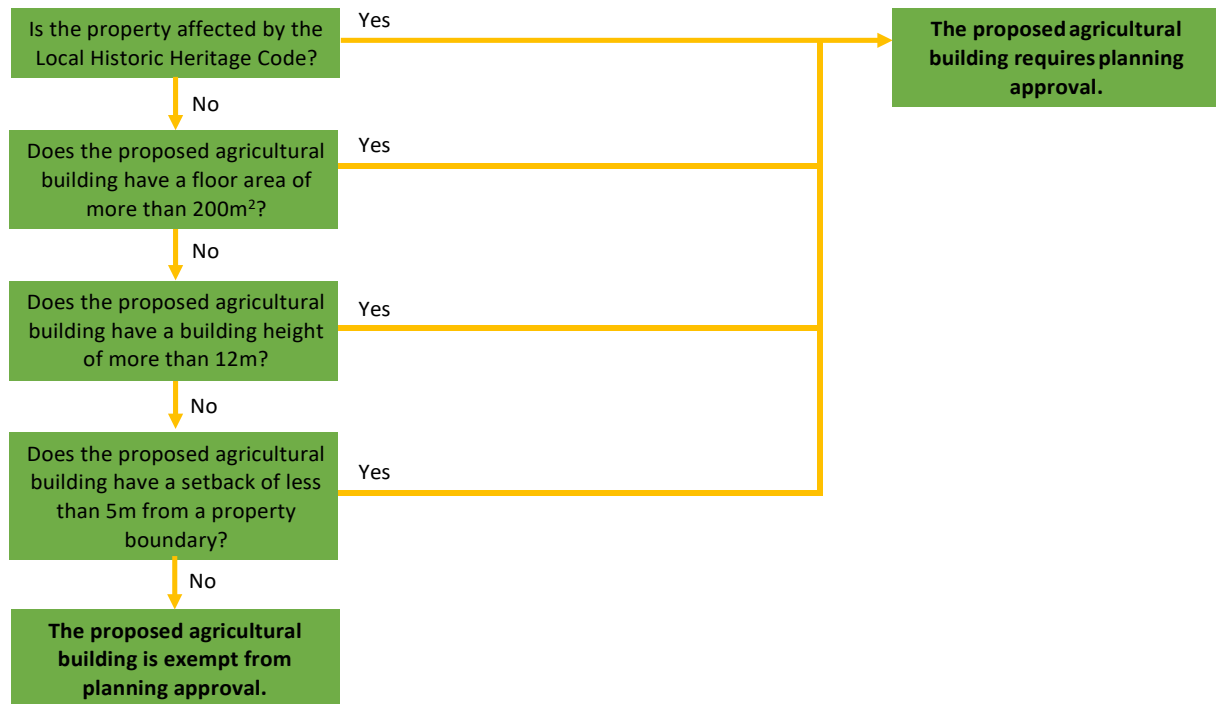


What is an agricultural building?

An agricultural building is a building directly associated with, and a subservient part of, an agricultural use, including but not limited to a building for controlled environment agriculture or plantation forestry.

Term	Definition
Agricultural use	Means use of the land for propagating, cultivating or harvesting plants or for keeping and breeding of animals, excluding domestic animals and pets. It includes the handling, packing or storing of plant and animal produce for dispatch to processors. It includes controlled environment agriculture and plantation forestry.
Controlled environment agriculture	Means an agricultural use carried out within some form of built structure, whether temporary or permanent, which mitigates the effect of the natural environment and climate. Such agricultural uses include production techniques that may or may not use imported growth medium such as greenhouses, polythene covered structures, and hydroponic facilities.
Plantation forestry	Means the use of land for planting, management and harvesting of trees for commercial wood production, but does not include the milling or processing of timber, or the planting or management of areas of a farm for shelter belts, firewood, erosion or salinity control or other environmental management purposes, or other activity directly associated with and subservient to another form of agricultural use.

Specific planning exemptions for agricultural buildings in the Agriculture Zone and Rural Zone



Other important information

- Council issues planning exemption certificates at a fee of \$150 each.

If you wish to apply for a planning exemption certificate, please contact Council's Planning Department at planningenquiries@southernmidlands.tas.gov.au or 03 6254 5050 (Mon-Fri, 8.30 am-5.00 pm).

- If the proposed outbuilding or agricultural building is exempt from planning approval, you should engage a private building surveyor to ascertain what approvals are required under the *Building Act 2016*.