

SOUTHERN
MIDLANDS
COUNCIL



Public Notice Details

Planning Application Details

Application No	DA2200131
Application Description:	Demolition of existing distillery, Construction of new distillery, storage building, seven bond stores and ancillary works
Applicant Name (s)	ERA Planning & Environment

Property Details

Property Location	76 Shene Road Pontville
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Application Information

Application Type	Discretionary Development Application
Development Category	Resource processing
Advertising Commencement Date	03/03/2023
Advertising Closing Period	20/03/2023

If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

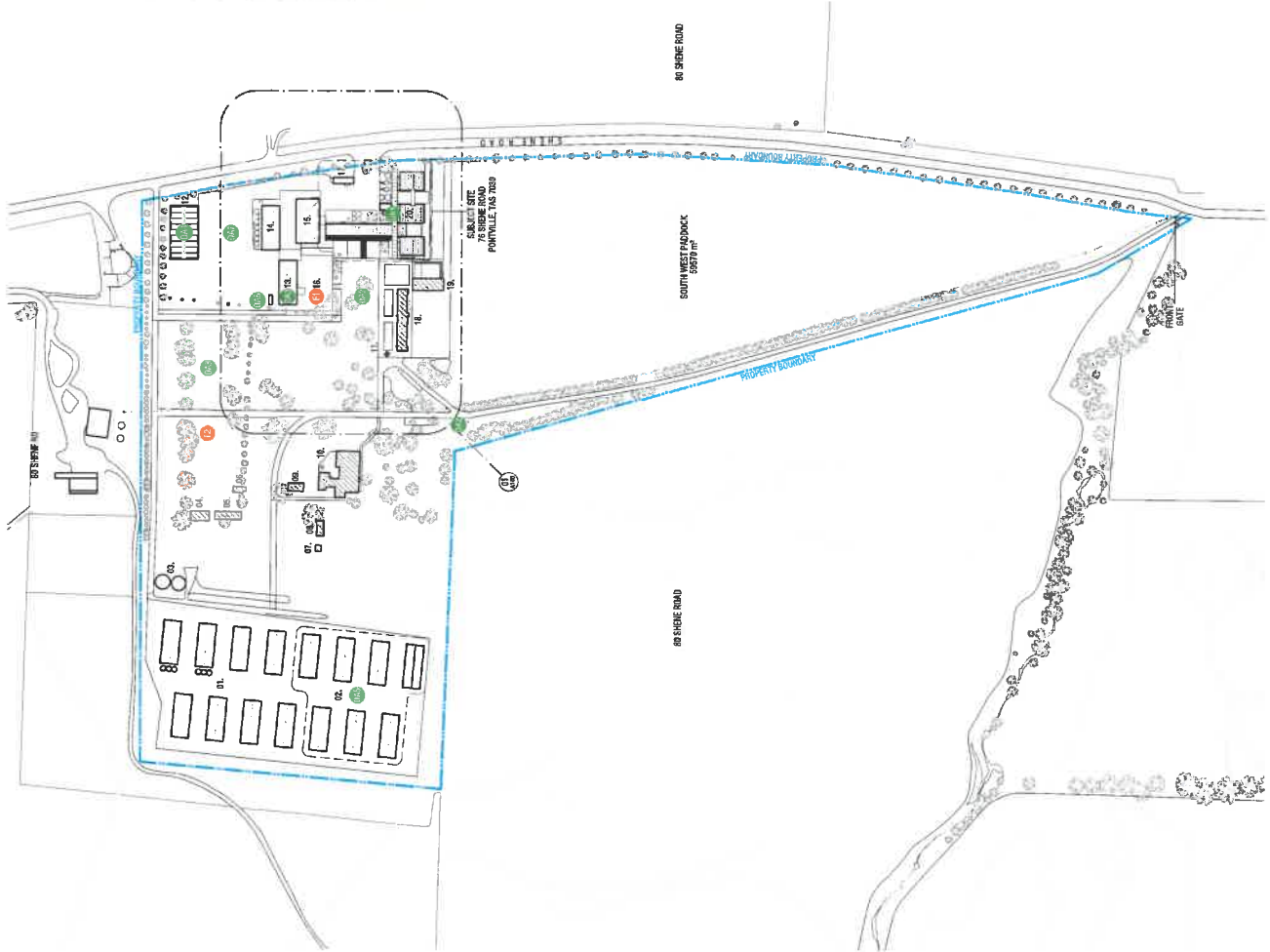
Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.

DATE RECEIVED
22/12/2022

- LEGEND**
- HERITAGE SIGNIFICANCE**
- KEY:**
- 01. BOND STORES
 - 02. PROPOSED BOND STORES
 - 03. BOTTLING AND DISCORDING
 - 04. SHED
 - 05. SHED
 - 06. SHED
 - 07. SHED
 - 08. FORMER DOWNY ACCOMMODATION
 - 09. SHERRE ESTATE HOUSE/STEAD
 - 10. WELL
 - 11. NATURAL TOPO
 - 12. BOTTLING AND DISCORDING
 - 13. COFFRAGE STORE
 - 14. SUBSTATION
 - 15. FUTURE TASMANIAN WHISKY DISCOVERY CENTRE
 - 16. CELLAR DOOR
 - 17. DISTILLERY
 - 18.
 - 19.
 - 20.



- EXISTING DEVELOPMENT APPLICATION SCOPE STAGE 1**
- 01. DISTILLERY BUILDING, MANUFACTURING & SUBSTATION
 - 02. LANDSCAPING, PATHS, FREIGHTWAY AREA, AND INSTALLATION OF RAINSTOUD DRIVE ENTRY
 - 03. BOTTLING & DISCORDING
 - 04. TO BE POLISHED WITHIN EXISTING COFFRAGE STORE
 - 05. AGRICULTURAL & DISTILLERY EQUIPMENT STORE
 - 06. ADDITIONAL BOND STORES
 - 07. SHIPPING CONTAINERS
 - 08. STAFF CAR PARKING
 - 09. VISITOR CAR PARKING
- FUTURE DEVELOPMENT**
- 10. FUTURE TASMANIAN WHISKY DISCOVERY CENTRE
 - 11. EXPANDED VISITOR CARPARK

- GENERAL NOTES:**
1. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORK.
 2. REFER DIMENSIONS AND DISCREPANCIES TO ARCHITECT FOR CLARIFICATION.
 3. REFER TO ALL CONTRACT DOCUMENTS, SCHEDULES AND THE OTHER CONTRACT DOCUMENTS.
 4. REFER TO STRUCTURAL ENGINEER'S DOCUMENTS FOR ALL DETAILS.
 5. REFER TO STRUCTURAL ENGINEER'S DOCUMENTS FOR PROPPING DETAILS.
 6. SCALE OF DRAWINGS.
 7. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE PROPRIETORS FOR RESOLUTION.
 8. ALL DIMENSIONS TO BE CHECKED ON SITE AND AS BARRIERS TO WATERPROOF TO A HEIGHT OF 150MM ABOVE THE FINISH FLOOR LEVEL.
 9. ALL INSTALLATION OF PROPRIETARY SYSTEMS ARE TO BE AS SPECIFIED BY THE MANUFACTURER'S INSTRUCTIONS.
 10. ALL WORK TO BE IN ACCORDANCE WITH RELEVANT STANDARDS AUSTRALIA AND ALL RELEVANT CURRENT STANDARDS INCLUDING:

- AS1289 GLASS BY BUILDINGS - SELECTION AND INSTALLATION FOR WEATHER RESISTANCE AND MANUFACTURE DESIGN
- AS1429 CONCRETE DESIGN AND MANUFACTURE DESIGN FOR WEATHER RESISTANCE
- AS1971.1 FIRE RESISTANCE WALLS, PARTIALS CONTROL AND INSTALLATION AND COMMISSIONING - FIRE
- AS1668.1 THE USE OF FIBREGLASS AND AS COMPOSING IN BUILDINGS - FIRE AND SMOKE CONTROL
- AS2318 AUTOMATIC FIRE AND SMOKE SYSTEMS
- AS2947 MANDATORY MINIMUM OPERATIONS FOR FIREWORKS AND SMOKE
- AS2285.1 ELECTRICAL INSTALLATIONS
- AS3080 ELECTRICAL INSTALLATIONS
- AS3740 WATERPROOFING OF DOMESTIC WET AREAS
- PCS2004 PLUMBING CODE OF AUSTRALIA

MARCH . STUDIO

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ABN #51173 **BOAT #4885**

DEVELOPMENT APP.

Rev.	Description	Date
01	DEVELOPMENT APPLICATION	06.10.22
02	DEVELOPMENT APPLICATION	30.09.22
03	DEVELOPMENT APPLICATION	16.09.22
04	DEVELOPMENT APPLICATION	09.09.22

NOT FOR CONSTRUCTION

Notes: Dimensions shall precede any scaled dimensions. Contractors shall verify all dimensions on site and refer discrepancies to us prior to commencement of work.

LARK PONTVILLE
 PONTVILLE, TASMANIA 7005

FUTURE MASTERPLAN

THM:

Approved by	RE	Checked by	CL
Drawn by	CW		
Date	06.10.22		
Scale	1:2500 @ A3 OR AS INDICATED		
Project Number	2122	Revision	Rev 00

- 1. ALL WORKS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORKS
- 2. REFER DIMENSIONS AND DISCREPANCIES TO ARCHITECT FOR CLARIFICATION
- 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE CONTRACT AND THE OTHER CONTRACT DOCUMENTS
- 4. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR ALL STRUCTURAL REQUIREMENTS
- 5. REFER STRUCTURAL ENGINEER'S DOCUMENTS FOR PROPPING
- 6. DO NOT SCALE THE DRAWINGS
- 7. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY
- 8. THE WALL SURFACE FINISHES, BATHS, AND BASINS TO BE WATERPROOF TO A HEIGHT OF 150MM ABOVE THE FINISHED FLOOR LEVEL
- 9. REFER TO THE ARCHITECT'S SPECIFICATIONS FOR ALL PERMANENT FIXTURES AND FITTINGS
- 10. ALL WORKS TO BE IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA AND ALL RELEVANT CURRENT STANDARDS INCLUDING:
 - AS1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
 - AS1298 EQUIPMENT DESIGN AND MANUFACTURE DESIGN FOR ACCESS AND MOBILITY
 - AS1970.1 FIRE DETECTION, WARNING, CONTROL AND INTERCOM SYSTEMS - SYSTEM DESIGN, INSTALLATION AND COMMISSIONING - FIRE
 - AS1684.1 THE USE OF VENTILATION AND AIR-CONDITIONING IN BUILDINGS - FIRE AND SMOKE CONTROL
 - AS119 AUTOMATIC FIRE AND SPRINKLER SYSTEMS
 - AS2047 MANDATORY MINIMUM SPECIFICATION FOR WINDOWS AND DOORS
 - AS2208.1 EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS IN BUILDINGS
 - AS3000 ELECTRICAL INSTALLATIONS
 - AS3700 WATERPROOFING OF DOMESTIC WET AREAS
 - PD0004 PLUMBING CODE OF AUSTRALIA

MARCH . STUDIO

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Issued for: **DEVELOPMENT APP.**

Rev.	Description	Date
06	DEVELOPMENT APPLICATION	30.09.22
05	DEVELOPMENT APPLICATION	02.08.22
04	FOR BATTERY APPLICATION	02.08.22
03	PRE APPLICATION MEETING	24.06.22
02	FOR INFORMATION	19.04.22
01	FOR INFORMATION	29.03.22

NOT FOR CONSTRUCTION

When dimensions take precedence over scaled dimensions, the dimensions shall prevail on site and refer discrepancies to an office to commencement of work.

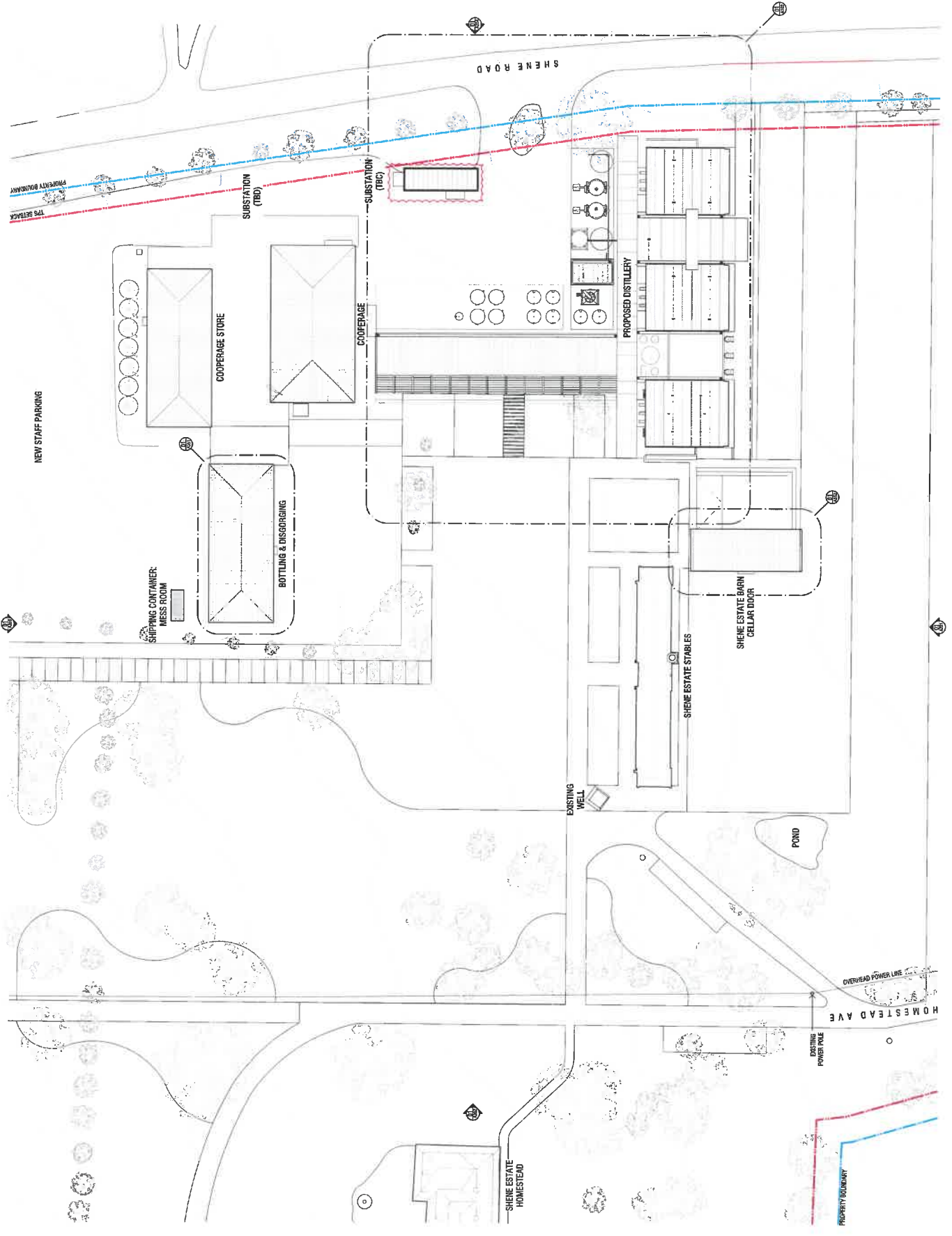
Project: **LARK PONTVILLE**
78 SHERE ROAD
PONTVILLE, VIC 3048

Task: **PROPOSED PLAN - SITE**

Approved by:	SE	Checked by:	CL
Drawn by:	OW		
Date:	24.10.22		
Scale:	1:500 @ A2 (IF AS INDICATED)		
Project Number:	212		
Drawing Number:			

A100 06

North



REC - CLIENT
RECEIVED
22/12/2022

GENERAL NOTES

1. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORKS.
2. THE DRAWING IS TO BE READ IN CONJUNCTION WITH THE CONTRACT DOCUMENTS.
3. THE DRAWING IS TO BE READ IN CONJUNCTION WITH THE CONTRACT DOCUMENTS.
4. ALL WORK IS TO BE ACCORDANCE WITH BUILDING CODE OF AUSTRALIA AND ALL RELEVANT CURRENT STANDARDS INCLUDING:
5. AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
6. AS 1428 EQUIPMENT DESIGN AND MANUFACTURE DESIGN FOR ACCESS AND MOBILITY
7. AS 1678.1 FIRE DETECTOR, WARNING, CONTROL AND INTERCOM SYSTEM - SYSTEM DESIGN, INSTALLATION AND COMMISSIONING - FIRE ALARMS - FIRE AND SMOKE CONTROL
8. AS 1684.1 THE USE OF VENTILATION AND AIR-CONDITIONING IN BUILDINGS - FIRE AND SMOKE CONTROL
9. AS 2219 AUTOMATIC FIRE AND SPRINKLER SYSTEMS
10. AS 2047 MANDATORY MINIMUM SPECIFICATION FOR WINDOWS AND DOORS
11. AS 2224.1 EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS IN BUILDINGS
12. AS 3000 ELECTRICAL INSTALLATIONS
13. AS 3740 WATERBORING OF DOMESTIC WET AREAS
14. PD 4384 PLUMBING CODE OF AUSTRALIA

LESSING - REFER ALSO SPECIFICATION

REVISIONS

Rev.	Description	Date
01	PRELIMINARY INFORMATION	21.06.22
02	DEVELOPMENT APPLICATION	30.06.22
03	DEVELOPMENT APPLICATION	03.08.22
04	PRELIMINARY ASSESSMENT	10.06.22
05	FOR INFORMATION	22.06.22
06	FOR INFORMATION	18.04.22
07	FOR INFORMATION	28.03.22

NOT FOR CONSTRUCTION

When dimensions later procedure over scaled dimensions. Dimensions are given in millimetres unless otherwise stated. All dimensions are to be placed to measurement of face.

PROJECT

LARK PONTVILLE
16 SHEPHE ROAD
PONTVILLE, TASMANIA 7008

PROPOSED PLAN - GROUND FLOOR

Approved by: DL Checked by: RE
Drawn by: DL
Date: 21.12.22
Scale: 1:200 @ A2 OR AS INDICATED
Project Number: 2122
Drawing Number: 2122

Revision: North

A102 08

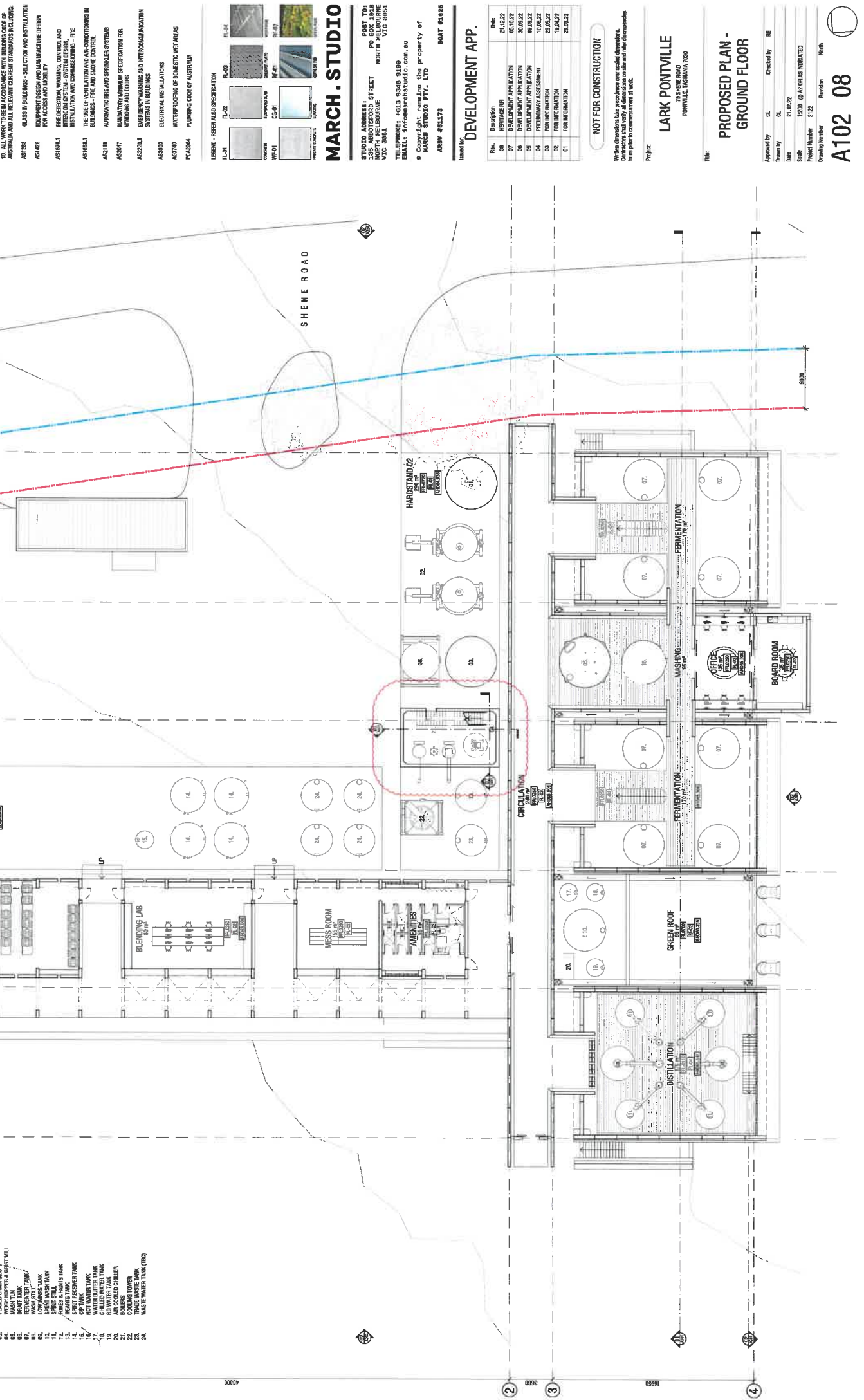
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22/12/2022

46800

3600

1800

1800

3600

1800

3600

1800

3600

GENERAL NOTES:

1. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORKS.
2. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORKS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND CONDITIONS OF CONTRACT.
4. REFER TO STRUCTURAL ENGINEER'S DOCUMENTS FOR ALL STRUCTURAL REQUIREMENTS.
5. DO NOT SCALE OFF DRAWINGS.
6. THE WALL SURFACE BEHIND SINKS, BATHS, AND BASINS TO BE FINISHED TO THE FINISH SURFACE OF THE ADJACENT WALL.
7. ALL INSTALLATION OF PROTECTIVE SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTRUCTIONS AND REQUIREMENTS.
8. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE BUILDING REGULATIONS AND ALL RELEVANT CURRENT STANDARDS IN AUSTRALIA AND ALL RELEVANT CURRENT STANDARDS FOLLOWING:

- AS1289 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
- AS1469 EQUIPMENT DESIGN AND MANUFACTURE DESIGN FOR ACCESS AND MOBILITY
- AS1673.1 FIRE DETECTION, WARNING, CONTROL AND INTERCOMMUNICATION SYSTEM DESIGN, INSTALLATION AND COMMISSIONING - FIRE ALARMS - FIRE AND SMOKE CONTROL
- AS1683.1 THE USE OF VENTILATION AND AIR-CONDITIONING IN BUILDINGS - FIRE AND SMOKE CONTROL
- AS2119 AUTOMATIC FIRE AND SPRINKLER SYSTEMS
- AS2847 MANDATORY MINIMUM SPECIFICATION FOR WINDOWS AND DOORS
- AS2225.1 EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS IN BUILDINGS
- AS3000 ELECTRICAL INSTALLATIONS
- AS1370 WATERPROOFING OF DOMESTIC WET AREAS
- PO32004 PLUMBING CODE OF AUSTRALIA

LEGEND - REFER ALSO TO SPECIFICATION

FL-31	FL-32	FL-43	FL-44
FL-31	FL-32	FL-43	FL-44
WF-01	WF-02	WF-03	WF-04
WF-01	WF-02	WF-03	WF-04

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DEVELOPMENT APP.

Rev	Description	Date
06	DEVELOPMENT APPLICATION	30.08.22
05	DEVELOPMENT APPLICATION	06.08.22
04	PRELIMINARY ASSESSMENT	10.06.22
03	FOR INFORMATION	23.06.22
02	FOR INFORMATION	19.04.22
01	FOR INFORMATION	20.03.22

NOT FOR CONSTRUCTION

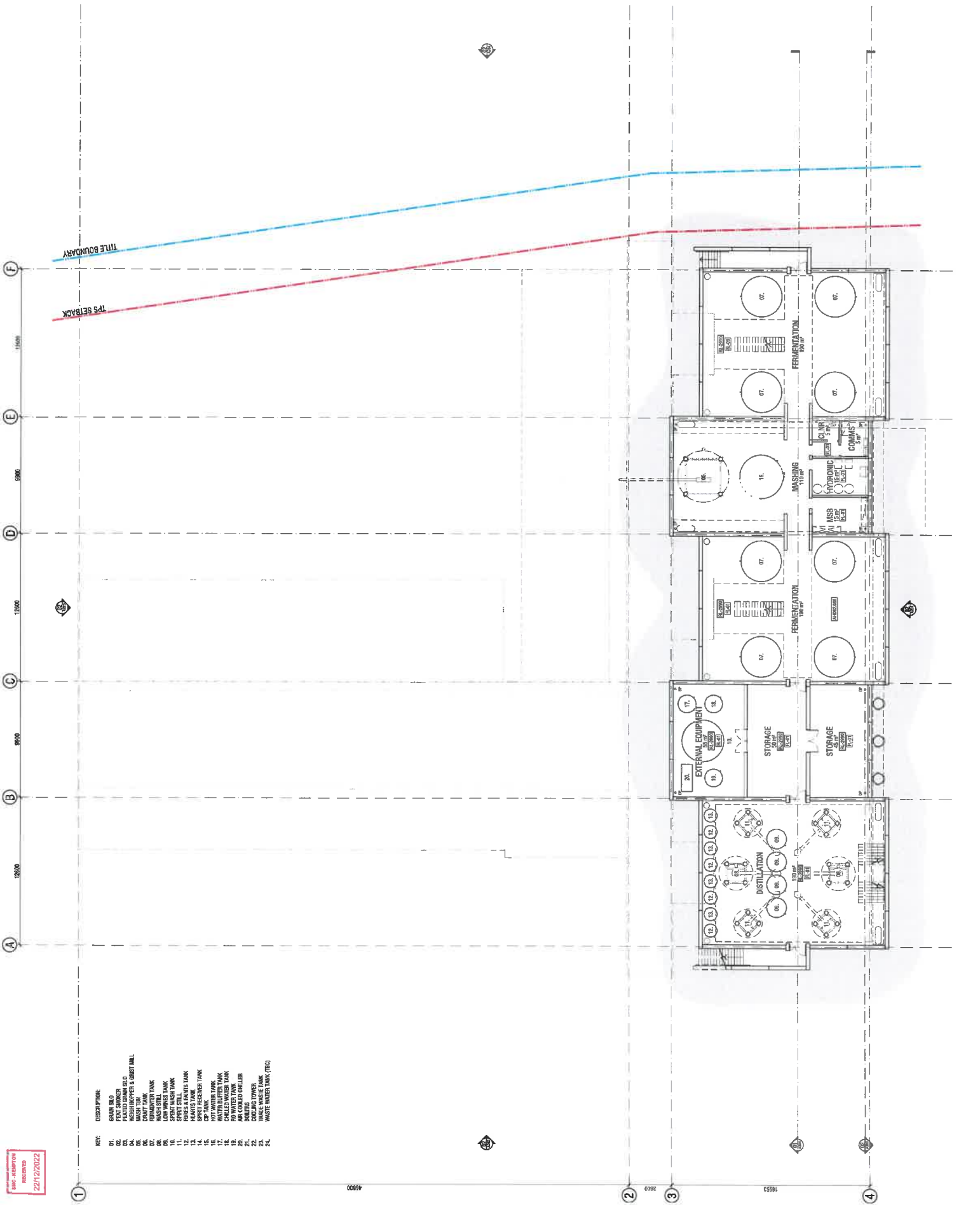
When dimensions take precedence over scale dimensions, the dimensioned value shall prevail. All dimensions are to be given in millimetres unless otherwise stated.

LARK PONTVILLE
 15 SEBASTIAN ROAD
 PONTVILLE, VIC 3070

PROPOSED PLAN - BASEMENT

Approved by	CL	Checked by	RE
Drawn by	CL		
Date	24.03.22		
Scale	1:200 @ A4 OR AS INDICATED		
Project Number	212	Revision	North

A101 06



REC'D - 21/03/2022
 RECEIVED
 22/12/2022

- KEY:**
- 01. GRAN BOLD
 - 02. WASH
 - 03. PACKED GRAN BOLD
 - 04. WASH HOPPER & SPURT TAIL
 - 05. DRUM TANK
 - 06. FERMENTER TANK
 - 07. LOW WASH TANK
 - 08. SPURT WASH TANK
 - 09. HEARTS TANK
 - 10. HEARTS TANK
 - 11. SPURT TANK
 - 12. HEARTS TANK
 - 13. HOT WATER TANK
 - 14. CHILLED WATER TANK
 - 15. CHILLED WATER TANK
 - 16. RO WATER TANK
 - 17. BOILER
 - 18. BOILER
 - 19. BOILER
 - 20. BOILER
 - 21. BOILER
 - 22. COOLING TOWER
 - 23. TRUCK WASH TANK (TWC)
 - 24. WASTE WATER TANK (WWT)

44900

2

3

15939

4

GENERAL NOTES:
 1. ALL DIMENSIONS TO BE OBTAINED ON SITE BEFORE COMMENCEMENT OF WORKS.
 2. ALL DIMENSIONS TO BE OBTAINED ON SITE BEFORE COMMENCEMENT OF WORKS.
 3. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH THE CLARIFICATION SHEETS AND DISCREPANCIES TO ARCHITECT FOR ALL STRUCTURAL REQUIREMENTS.
 4. REFER TO STRUCTURAL ENGINEER'S DOCUMENTS FOR ALL DETAILS.
 5. REFER TO ARCHITECT'S DOCUMENTS FOR SHOPPING DETAILS.
 6. DO NOT SCALE DRAWINGS.
 7. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH THE CLARIFICATION SHEETS AND DISCREPANCIES TO ARCHITECT FOR ALL STRUCTURAL REQUIREMENTS.
 8. THE WALL SURFACE FINISH (SMOOTH, BRICK, AND BAGS) TO BE DETERMINED BY THE ARCHITECT.
 9. ALL INSTALLATION OF PROGRAMME SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 10. ALL INSTALLATION OF PROGRAMME SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 11. ALL INSTALLATION OF PROGRAMME SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 12. ALL INSTALLATION OF PROGRAMME SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 13. ALL INSTALLATION OF PROGRAMME SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 14. ALL INSTALLATION OF PROGRAMME SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
 15. ALL INSTALLATION OF PROGRAMME SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.

- AS1289 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
- AS1428 EQUIPMENT DESIGN AND MANUFACTURE DESIGN FOR ACCESS AND MOBILITY
- AS1670.1 FIRE DETECTION, WARNING, CONTROL AND NOTIFICATION SYSTEM - SYSTEM DESIGN, INSTALLATION AND COMMISSIONING - FIRE ALARMS
- AS1684.1 THE USE OF VENTILATION AND AIR-COMPRESSORS IN BUILDINGS - FIRE AND SMOKE CONTROL
- AS2178 AUTOMATIC FIRE AND SPRINKLER SYSTEMS
- AS2347 MANDATORY MINIMUM SPECIFICATION FOR WINDOWS AND DOORS
- AS2324.1 EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS IN BUILDINGS
- AS3000 ELECTRICAL INSTALLATIONS
- AS3746 WATERPROOFING OF DOMESTIC WET AREAS
- FC20014 PLUMBING CODE OF AUSTRALIA

LEGEND - REFER TO SPECIFICATION

FL-01	FL-02	FL-03	FL-04
FL-05	FL-06	FL-07	FL-08
FL-09	FL-10	FL-11	FL-12

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Issued For: **DEVELOPMENT APP.**

Rev.	Description	Date
04	HERITAGE PER	21.12.22
04	DEVELOPMENT APPLICATION	06.10.22
03	DEVELOPMENT APPLICATION	30.09.22
02	DEVELOPMENT APPLICATION	09.08.22
01	FOR INFORMATION	24.05.22

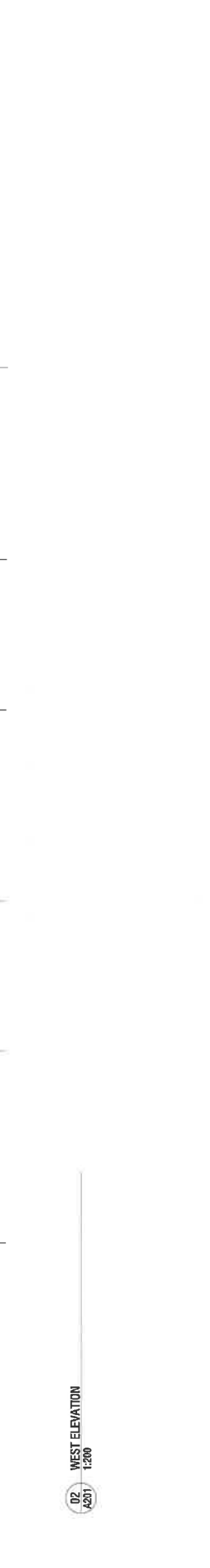
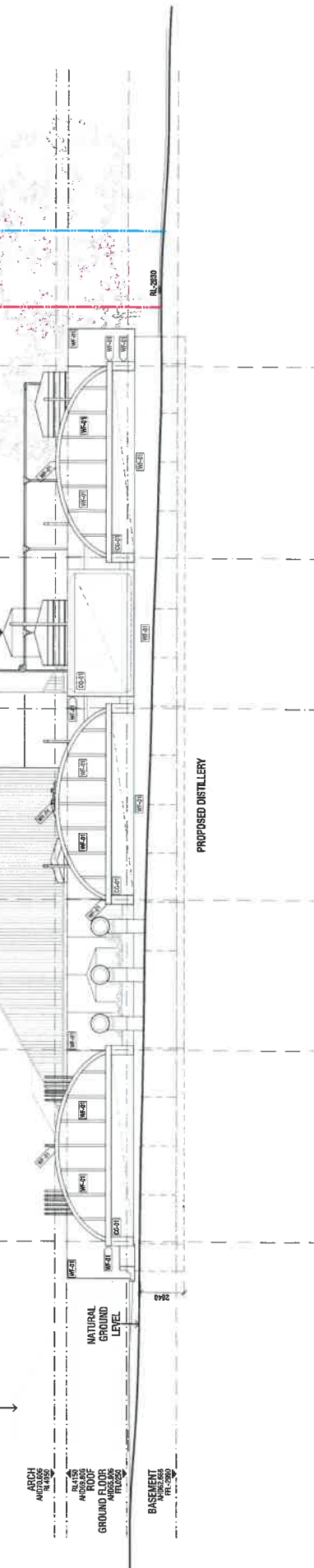
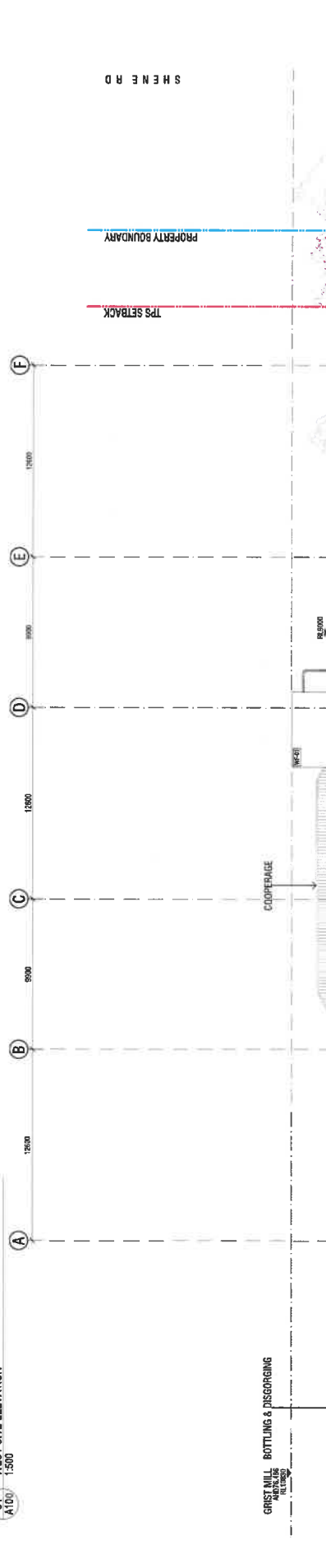
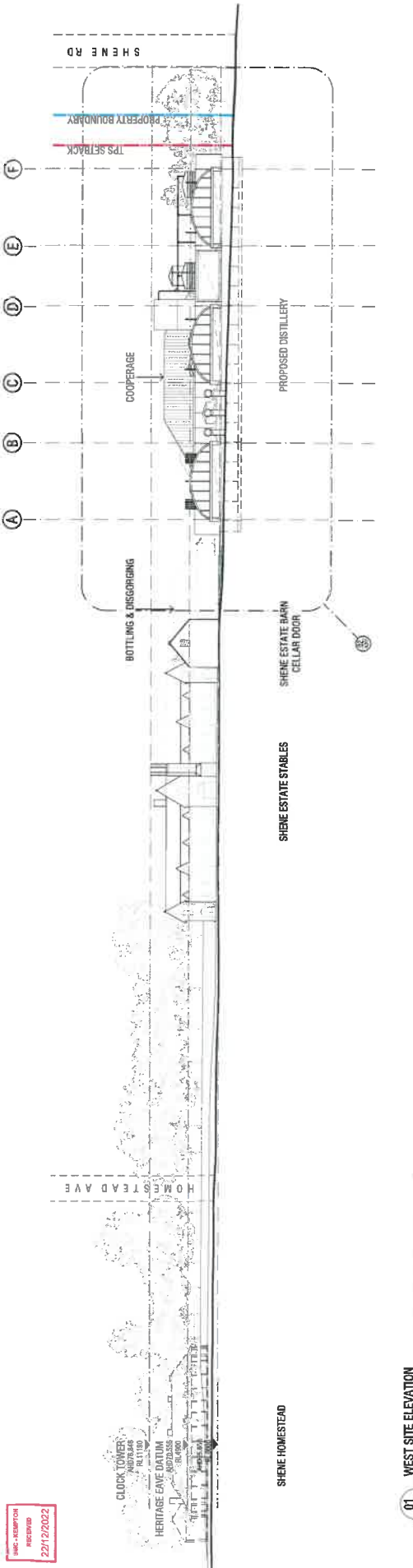
NOT FOR CONSTRUCTION
 While dimensions to the maximum over stated dimensions, dimensions to the minimum and maximum of dimensions to the first discontinuity to be used for construction of work.

Project: **LARK PONTVILLE**
 78 SHEPHERD ROAD
 PONTVILLE, VIC 3070

Title: **PROPOSED ELEVATION - WEST**

Approved by	CL	Checked by	RE
Drawn by	CH	Date	21.12.22
Scale	1:200 @ AS IF INDICATED	Project Number	2122
Drawing Number	Foundation	North	

A201 05



UNIC RECEPTION
 RECEIVED
 22/12/2022

01 WEST SITE ELEVATION
 A100 1:500

02 WEST ELEVATION
 A201 1:200

GENERAL NOTES:

1. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORKS.
2. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORKS.
3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE CLARIFICATION.
4. REFER TO STRUCTURAL ENGINEER'S DOCUMENTS FOR ALL STRUCTURAL REQUIREMENTS.
5. REFER TO ELECTRICAL ENGINEER'S DOCUMENTS FOR ALL ELECTRICAL REQUIREMENTS.
6. DO NOT SCALE DRAWINGS.
7. THE WALL SURFACE FINISH, BATHS, TUBS, AND BASINS TO BE THE RESPONSIBILITY OF THE CLIENT.
8. THE WALL SURFACE FINISH, BATHS, TUBS, AND BASINS TO BE THE RESPONSIBILITY OF THE CLIENT.
9. ALL INSTALLATION OF PROGRAMME SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTALLATION AND RECOMMENDATIONS AND ALL RELEVANT CURRENT STANDARDS INCLUDING: AUSTRALIAN AND ALL RELEVANT CURRENT STANDARDS INCLUDING:

- AS 1289 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
- AS 1489 EQUIPMENT DESIGN AND MANUFACTURE DESIGN FOR ACCESS AND MOBILITY
- AS 1674.1 FIRE RETARDANT, WARNING, CONTROL AND INSTALLATION SYSTEM - SYSTEM DESIGN, INSTALLATION AND COMMISSIONING - FIRE BUILDINGS - FIRE AND SMOKE CONTROL
- AS 1684.1 THE USE OF VENTILATION AND AIR-CONTAINING IN BUILDINGS - FIRE AND SMOKE CONTROL
- AS 2118 AUTOMATIC FIRE AND SPRINKLER SYSTEMS
- AS 2347 MANDATORY MINIMUM SPECIFICATION FOR WINDOWS AND DOORS
- AS 2223.1 EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS IN BUILDINGS
- AS 3000 ELECTRICAL INSTALLATIONS
- AS 3740 WATERPROOFING OF DOMESTIC WET AREAS
- PO 3034 PLUMBING CODE OF AUSTRALIA

LEGEND - REFER ALSO SPECIFICATION

FL-01	FL-02	FL-03	FL-04
CONCRETE	SPRINKLED GLASS	SPRINKLED GLASS	SPRINKLED GLASS
WF-01	GG-01	WF-01	WF-01
PRECAST CONCRETE	GLASS	GLASS	GLASS

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DEVELOPMENT APP.

Rev.	Date/Rev	By
01	21/12/22	CH
02	30/08/22	CH
01	06/06/22	CH

NOT FOR CONSTRUCTION

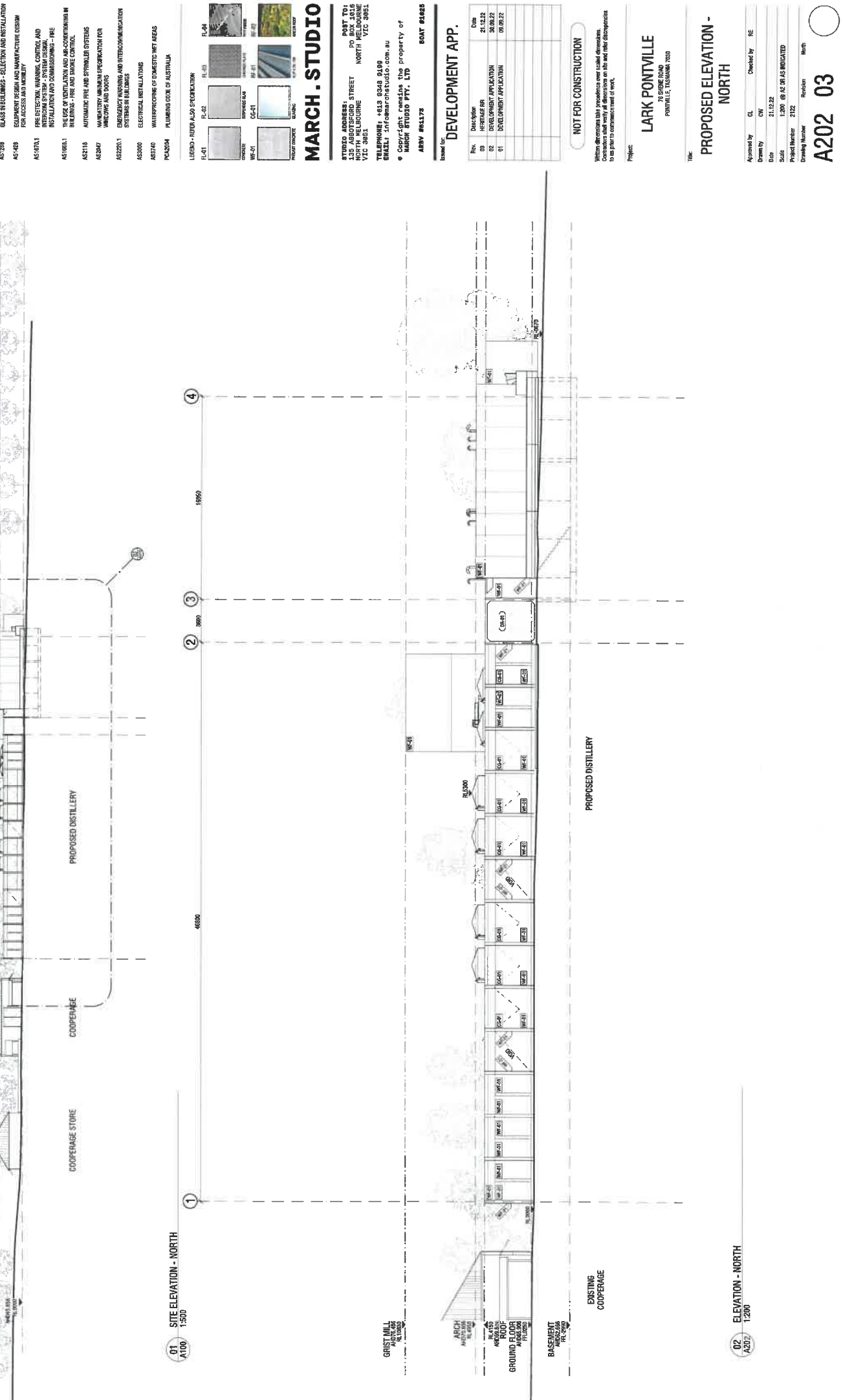
Notes: Dimensions may include over sized dimensions. Contractors should mark all dimensions on site. Dimensions are to be taken to centre of wall or face of work.

Project:
LARK PONTVILLE
 75 SIDE ROAD
 PONTVILLE, VICTORIA 3085

PROPOSED ELEVATION - NORTH

Approved by: CL Checked by: RE
 Drawn by: CH
 Date: 21/12/22
 Scale: 1:200 @ A2 AS INDICATED
 Project Number: 2122
 Drawing Number: North

A202 03



RECEIVED
 22/12/2022

01 SITE ELEVATION - NORTH
 A100 1:500

02 ELEVATION - NORTH
 A202 1:200

- GENERAL NOTES:**
1. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORKS.
 2. DIMENSIONS AND DISCREPANCIES TO ADHERE TO THE CLARIFICATION.
 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE CLARIFICATION.
 4. REFER TO STRUCTURAL ENGINEER'S DOCUMENTS FOR ALL STRUCTURAL REQUIREMENTS.
 5. REFER TO MECHANICAL ENGINEER'S DOCUMENTS FOR ALL MECHANICAL REQUIREMENTS.
 6. DO NOT SCALE OFF DRAWINGS. REQUEST TO THE ATTENTION OF THE PROPRIETORS FOR RESOLUTION.
 7. THE WALL SURFACE BEHIND SHIMS, BATHS, AND BACINS TO BE CONCRETE.
 8. ALL INSTALLATION OF PROGRAMME SYSTEMS ARE TO BE AS PER MANUFACTURERS' INSTRUCTIONS AND RECOMMENDATIONS.
 9. REFER TO ALL RELEVANT CURRENT STANDARDS INCLUDING AUSTRALIAN AND ALL RELEVANT CURRENT STANDARDS INCLUDING:
 - AS 1289 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
 - AS 1429 EQUIPMENT DESIGN AND MANUFACTURE DESIGN FOR ACCESS AND MOBILITY
 - AS 1670.1 FIRE DETECTION, WARNING, CONTROL AND SUPPRESSION SYSTEMS DESIGN, INSTALLATION AND COMMISSIONING - FIRE
 - AS 1668.1 THE USE OF LIGHTNING AND DISCHARGING IN BUILDINGS - FIRE AND SHOCK CONTROL
 - AS 2218 AUTOMATIC FIRE AND SPRINKLER SYSTEMS
 - AS 2047 MANDATORY AVIATION SPECIFICATION FOR WINDOWS AND DOORS
 - AS 2226.1 EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS IN BUILDINGS
 - AS 3000 ELECTRICAL INSTALLATIONS
 - AS 2740 WATERPROOFING OF DOMESTIC WET AREAS
 - PD0004 PLUMBING CODE OF AUSTRALIA

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DEVELOPMENT APP.

Rev	Description	Date
01	HERITAGE FR	21.12.22
02	DEVELOPMENT APPLICATION	06.12.22
03	DEVELOPMENT APPLICATION	30.09.22
04	DEVELOPMENT APPLICATION	09.08.22

NOT FOR CONSTRUCTION

While this drawing is for information only, it is not to be used for construction. Contractors shall verify all dimensions on site and their discrepancies to be prior to commencement of work.

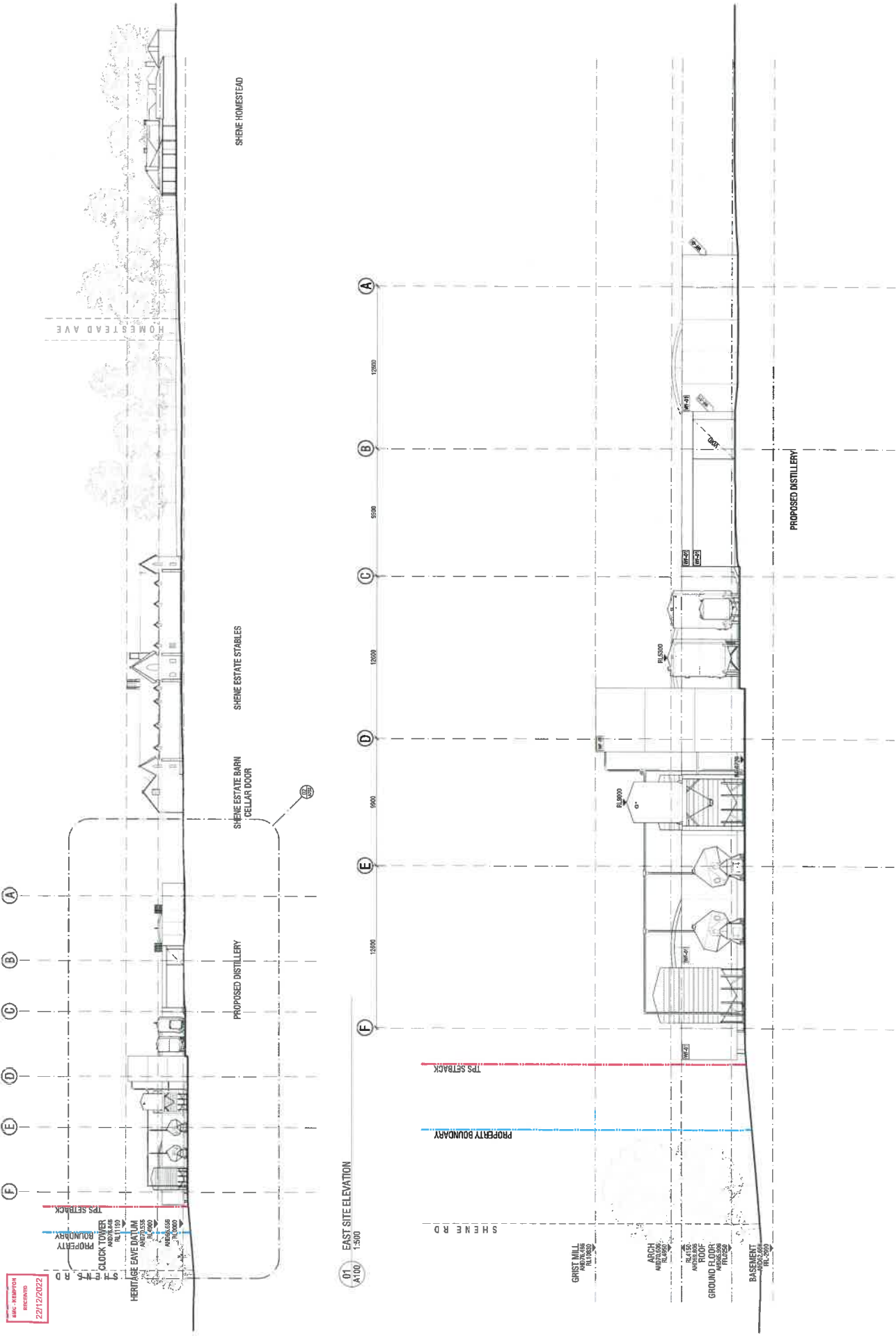
LARK PONTVILLE

100 BURNSIDE ROAD, PONTVILLE, VIC 3070

PROPOSED ELEVATION - EAST

Approved by: CL Checked by: RE
 Drawn by: CW Date: 21.12.22
 Scale: 1:200 @ A3 OR AS INDICATED
 Project Number: 2122 Drawing Number: High

A203 04



MARCH STUDIO
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 22/12/2022

01 EAST SITE ELEVATION
 A1/00 1:500

02 EAST ELEVATION
 A2/03 1:200

REVISED
22/12/2022

1. FULLY COMPLIANT WITH ALL APPLICABLE VLS & BYLAW.
2. REFER DIMENSIONS AND DISCREPANCIES TO ARCHITECT FOR CLARIFICATION.
3. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH THE SCHEDULES AND ALL RELEVANT STANDARDS AND REGULATIONS.
4. REFER TO STRUCTURAL ENGINEER'S DOCUMENTS FOR ALL STRUCTURAL REQUIREMENTS.
5. REFER TO ELECTRICAL ENGINEER'S DOCUMENTS FOR ALL ELECTRICAL REQUIREMENTS.
6. DO NOT SCALE DRAWINGS.
7. ALL WALL SURFACES SHALL BE FINISHED WITH A FINISH TO THE SATISFACTION OF THE ARCHITECT.
8. ALL INSTALLATION OF PROPRIETARY SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
9. ALL WORK IS TO BE COMPLETED IN ACCORDANCE WITH AUSTRALIAN AND ALL RELEVANT CURRENT STANDARDS INCLUDING:

- AS1300 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
- AS1428 EQUIPMENT DESIGN AND MANUFACTURE DESIGN FOR ACCESS AND MOBILITY
- AS1874.1 FIRE PROTECTION, WORKING CONTROL AND INSTALLATION OF COMPARTMENTATION - FIRE INSTALLATION AND COMPARTMENTATION - FIRE
- AS1888.1 THE USE OF ASBESTOS AND AS-CONTAINING MATERIALS IN BUILDINGS - FIRE AND SOUND CONTROL
- AS2116 AUTOMATIC FIRE AND SMOKE DETECTION SYSTEMS
- AS2047 MANDATORY MINIMUM SPECIFICATION FOR WINDOWS AND DOORS
- AS2285.1 EMERGENCY WORKING AND INTERCOMMUNICATION SYSTEMS IN BUILDINGS
- AS3000 ELECTRICAL INSTALLATIONS
- AS3740 WATERPROOFING OF DOMESTIC WET AREAS
- PD4004 PLUMBING CODE OF AUSTRALIA

LEGEND - REFER ALSO SPECIFICATION

FL-01	FL-02	FL-03	FL-04
CONCRETE	CONCRETE	CONCRETE	CONCRETE
W1-01	W1-02	W1-03	W1-04
WINDY WINDOW	WINDY WINDOW	WINDY WINDOW	WINDY WINDOW
W1-05	W1-06	W1-07	W1-08
WINDY WINDOW	WINDY WINDOW	WINDY WINDOW	WINDY WINDOW

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DEVELOPMENT APP.

Rev	Description	Date
04	HERITAGE IR	21/12/22
03	DEVELOPMENT APPLICATION	05/10/22
02	DEVELOPMENT APPLICATION	30/06/22
01	DEVELOPMENT APPLICATION	09/06/22

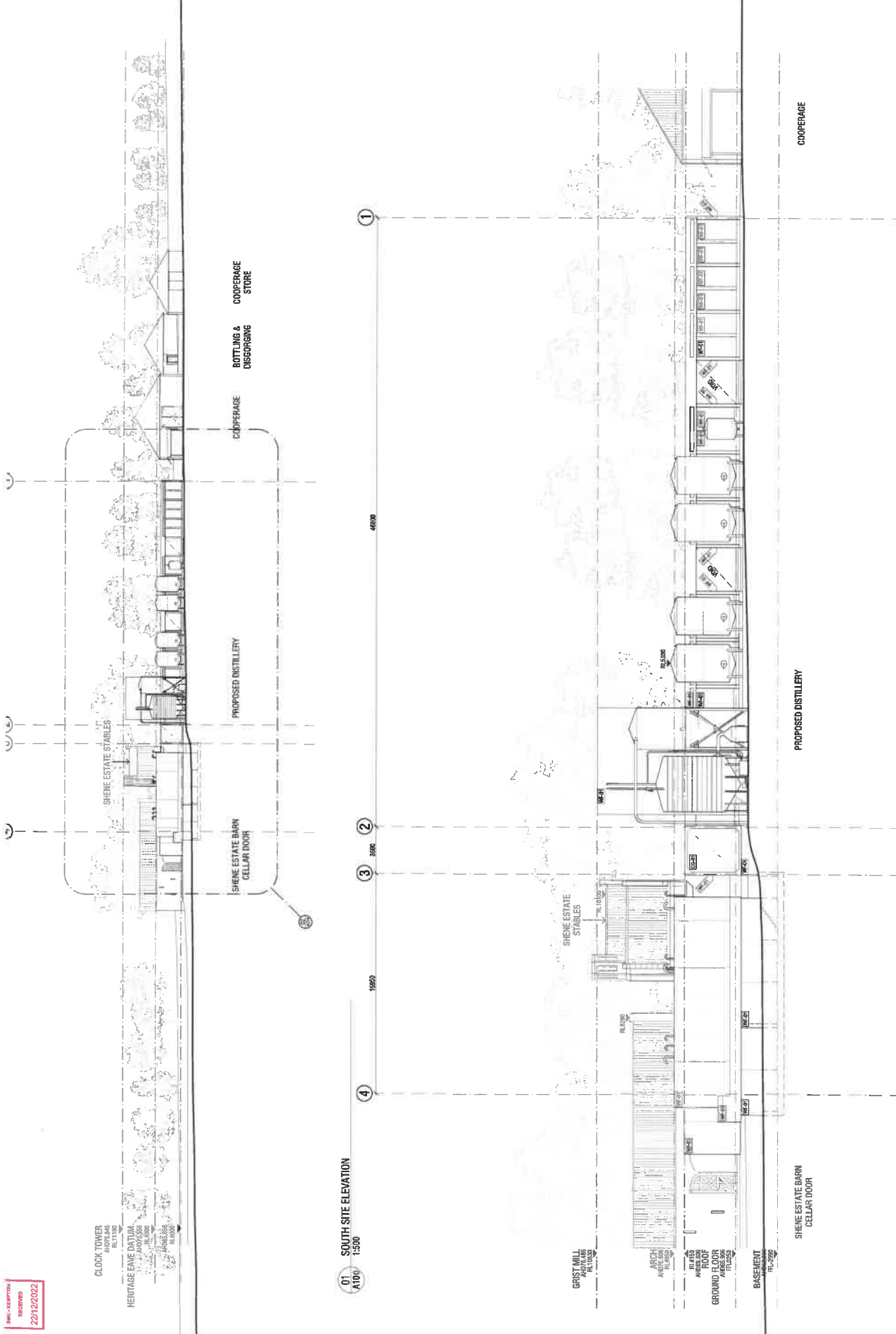
NOT FOR CONSTRUCTION
 Whilst attention has been given to the accuracy of this drawing, the contractor shall verify all dimensions on site and take responsibility for any errors prior to commencement of work.

Project:
LARK PONTVILLE
 PONTVILLE, VIC 3040

PROPOSED ELEVATION - SOUTH

Approved by	CL	Checked by	RE
Drawn by	DW		
Date	21/12/22		
Scale	1:200 @ 20:01 AS INDICATED		
Project Number	272		
Drawn Number			

A204 04

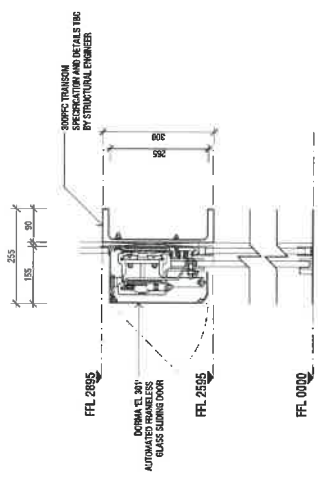


REVISED
22/12/2022

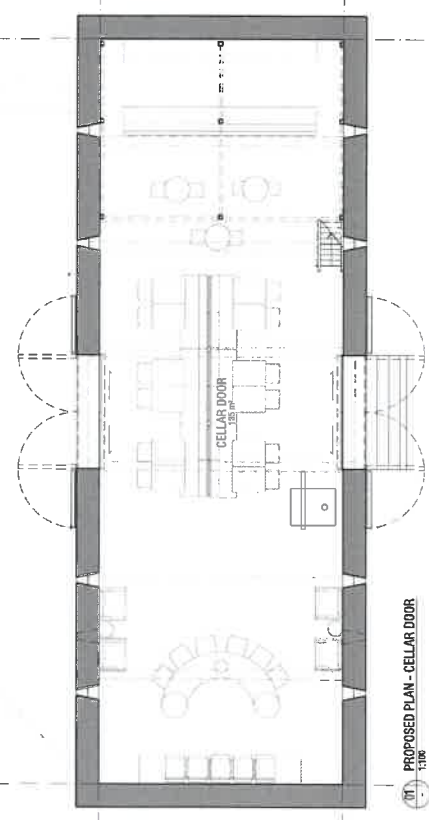
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22/12/2022

- GENERAL NOTES:**
1. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORKS.
 2. THE DRAWING IS TO BE READ IN CONJUNCTION WITH THE CURRENT CONDITIONS AND DISCREPANCIES TO ARCHITECT FOR CLARIFICATION.
 3. THE DRAWING IS TO BE READ IN CONJUNCTION WITH THE CURRENT CONDITIONS AND DISCREPANCIES TO ARCHITECT FOR CLARIFICATION.
 4. REFER TO STRUCTURAL ENGINEER'S DOCUMENTS FOR ALL STRUCTURAL REQUIREMENTS.
 5. REFER TO MECHANICAL ENGINEER'S DOCUMENTS FOR ALL MECHANICAL REQUIREMENTS.
 6. DO NOT SCALE OFF DRAWINGS.
 7. ANY DIMENSIONS ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.
 8. THE WALL SURFACE BEHIND SINKS, BATHS, AND BASINS TO BE WATERPROOF TO A HEIGHT OF 150MM ABOVE THE OUTSIDE FINISH.
 9. ALL WORK TO BE ACCORDANCE WITH BUILDING CODE OF AUSTRALIA AND ALL RELEVANT CURRENT STANDARDS INCLUDING:
- AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
 - AS 1438 EQUIPMENT DESIGN AND MANUFACTURE DESIGN FOR ACCESS AND MOBILITY
 - AS 1670.1 FIRE DETECTION, WARNING, CONTROL, AND INTERPHONE SYSTEM - SYSTEM DESIGN, INSTALLATION AND COMMISSIONING - THE BUILDING - FIRE AND SMOKE CONTROL
 - AS 1688.1 THE USE OF VENTILATION AND AIR-CONDITIONERS IN BUILDINGS - FIRE AND SMOKE CONTROL
 - AS 2047 AUTOMATIC FIRE AND SPRINKLER SYSTEMS
 - AS 2281.1 MANDATORY MINIMUM SPECIFICATION FOR WIRING AND DOORS
 - AS 2281.1 EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS IN BUILDINGS
 - AS 3000 ELECTRICAL INSTALLATIONS
 - AS 3740 WATERPROOFING OF DOMESTIC WET AREAS
 - PS 4384.1 PLUMBING CODE OF AUSTRALIA

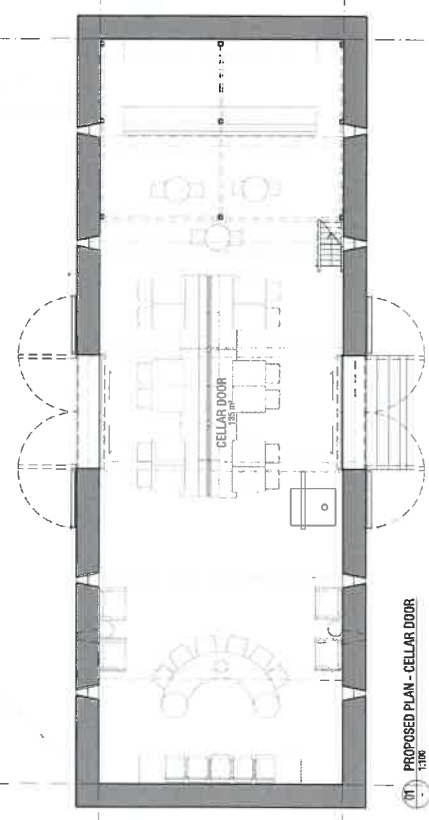
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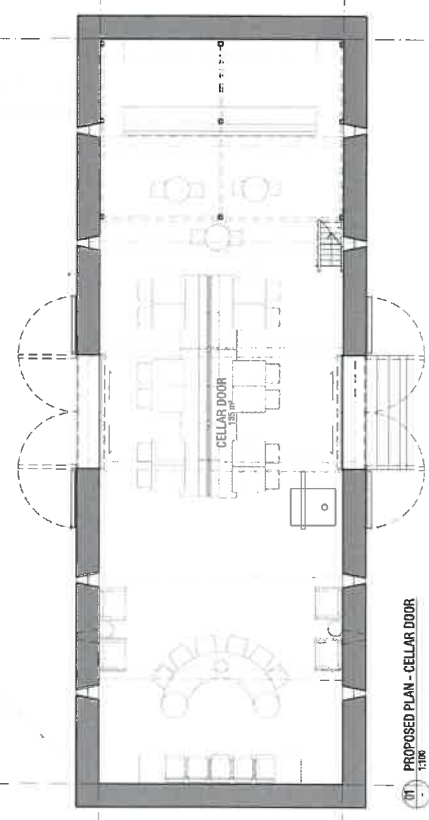
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1:100



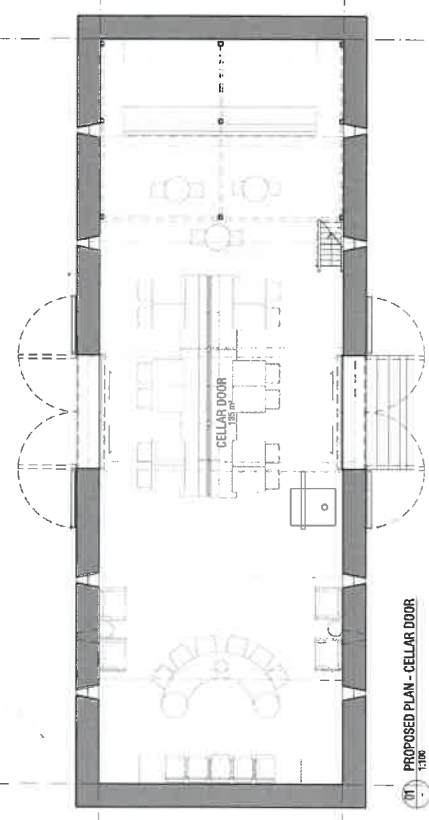
07. PROPOSED ELEVATION - WEST
1:100



08. PROPOSED ELEVATION - NORTH
1:100



09. PROPOSED ELEVATION - SOUTH
1:100



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STUDIO ADDRESS:
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VIC 3961

PART 701
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DEVELOPMENT APP.

Date	Description
01/12/22	SCHEMATIC DEVELOPMENT
02/12/22	DEVELOPMENT APPLICATION

NOT FOR CONSTRUCTION

Written dimensions take precedence over scaled dimensions. Any discrepancy between the two shall be resolved in favour of the written dimensions.

LARK PONTVILLE
78 SENE ROAD
PONTVILLE, TASMANIA 7509

PROPOSED CELLAR DOOR

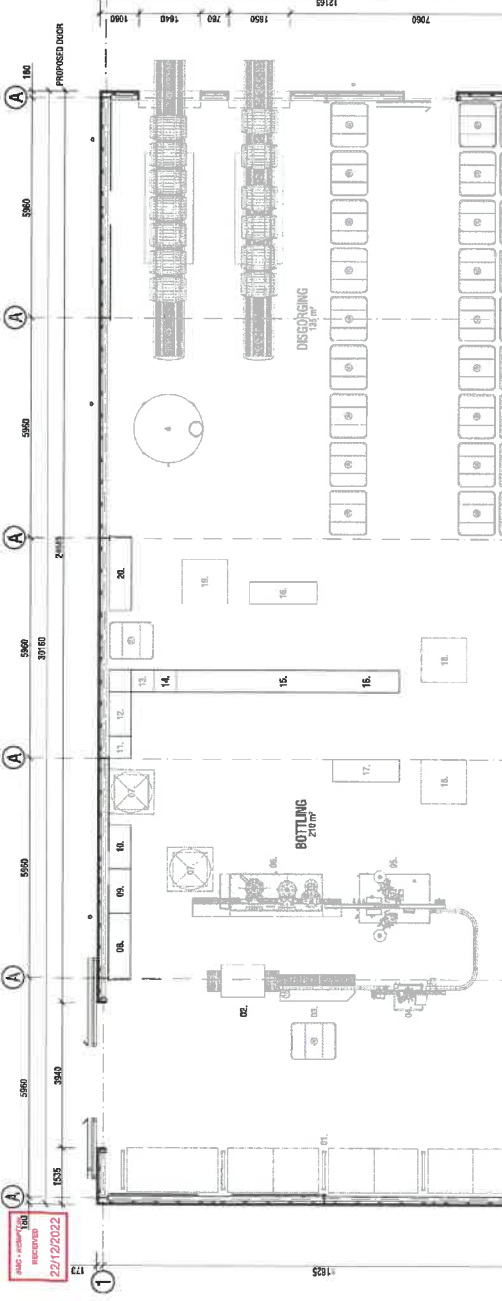
Approved by: RE Checked by: CL
Drawn by: CL
Date: 07.10.22
Scale: 1:100 @ A3 OR AS INDICATED
Project Number: 212
Drawing Number: Revision: Meth

A901 02

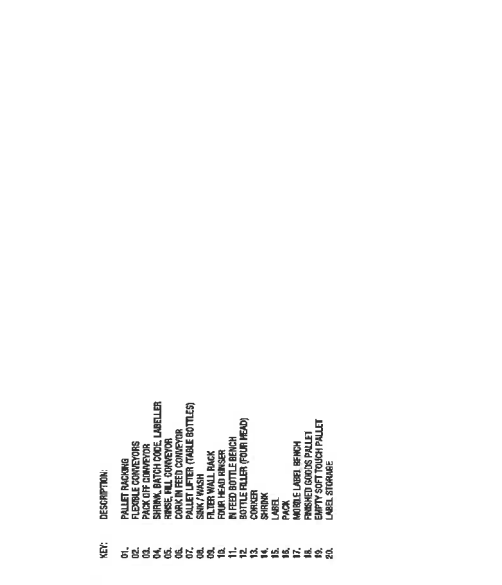
- GENERAL NOTES:**
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 2. THE DRAWINGS AND DESCRIPTIONS TO ACCRUE TO THE CLASSIFICATION.
 3. THE DRAWINGS TO BE READ IN CONJUNCTION WITH THE SPECIFICATION.
 4. REFER TO STRUCTURAL ENGINEERS DOCUMENTS FOR ALL STRUCTURAL REQUIREMENTS.
 5. DO NOT SCALE DIMENSIONS.
 6. THE WALL SURFACE FINISHES, PATHS, AND BARBS TO BE CONFORM TO THE RELEVANT STANDARDS.
 7. ALL INSTALLATION PROCEDURES SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTRUCTIONS AND REQUIREMENTS.
 8. ALL RELEVANT STANDARDS INCLUDING FOLLOWING: AUSTRALIAN AND ALL RELEVANT GOVERNMENT STANDARDS INCLUDING:
 - AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION
 - AS 1428 EQUIPMENT DESIGN AND MANUFACTURE DESIGN FOR ACCESS AND MOBILITY
 - AS 1670.1 FIRE DETECTION, WARNING, CONTROL AND INTERCOM SYSTEM - SYSTEM DESIGN, INSTALLATION AND COMMISSIONING - FIRE BUILDINGS - FIRE AND SMOKE CONTROL
 - AS 1685.1 THE USE OF VENTILATION AND AIR-CONDITIONING IN BUILDINGS - FIRE AND SMOKE CONTROL
 - AS 2118 AUTOMATIC FIRE FAN SPRINKLER SYSTEMS
 - AS 2047 MANDATORY MINIMUM SPECIFICATION FOR WINDOWS AND DOORS
 - AS 2250.1 EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS IN BUILDINGS
 - AS 5000 ELECTRICAL INSTALLATIONS
 - AS 2740 WATERPROOFING OF DOMESTIC WET AREAS
 - FC2004 PLUMBING CODE OF AUSTRALIA

- DESCRIPTION:**
- 01. PALLET PACKAGING
 - 02. SHINK BAYT/OCE LABELLER
 - 03. SHINK BAYT/OCE LABELLER
 - 04. SHINK BAYT/OCE LABELLER
 - 05. SHINK BAYT/OCE LABELLER
 - 06. SHINK BAYT/OCE LABELLER
 - 07. PALLET LIFTER (TABLE BOTTLES)
 - 08. PALLET LIFTER (TABLE BOTTLES)
 - 09. PALLET LIFTER (TABLE BOTTLES)
 - 10. PALLET LIFTER (TABLE BOTTLES)
 - 11. PALLET LIFTER (TABLE BOTTLES)
 - 12. PALLET LIFTER (TABLE BOTTLES)
 - 13. PALLET LIFTER (TABLE BOTTLES)
 - 14. PALLET LIFTER (TABLE BOTTLES)
 - 15. PALLET LIFTER (TABLE BOTTLES)
 - 16. PALLET LIFTER (TABLE BOTTLES)
 - 17. PALLET LIFTER (TABLE BOTTLES)
 - 18. PALLET LIFTER (TABLE BOTTLES)
 - 19. PALLET LIFTER (TABLE BOTTLES)
 - 20. PALLET LIFTER (TABLE BOTTLES)

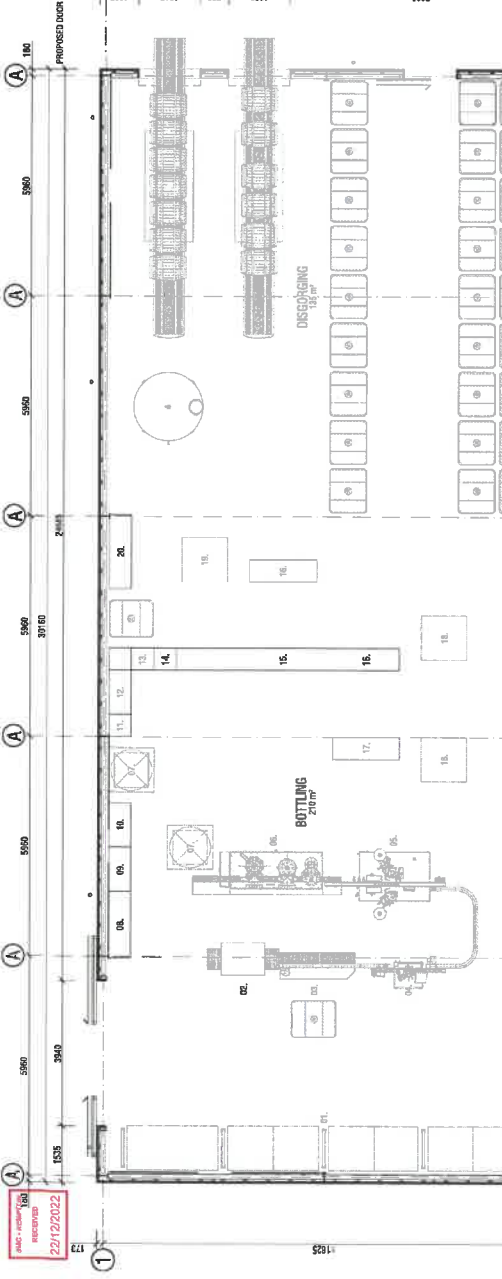
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 - 02. SHINK BAYT/OCE LABELLER
 - 03. SHINK BAYT/OCE LABELLER
 - 04. SHINK BAYT/OCE LABELLER
 - 05. SHINK BAYT/OCE LABELLER
 - 06. SHINK BAYT/OCE LABELLER
 - 07. PALLET LIFTER (TABLE BOTTLES)
 - 08. PALLET LIFTER (TABLE BOTTLES)
 - 09. PALLET LIFTER (TABLE BOTTLES)
 - 10. PALLET LIFTER (TABLE BOTTLES)
 - 11. PALLET LIFTER (TABLE BOTTLES)
 - 12. PALLET LIFTER (TABLE BOTTLES)
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 - 14. PALLET LIFTER (TABLE BOTTLES)
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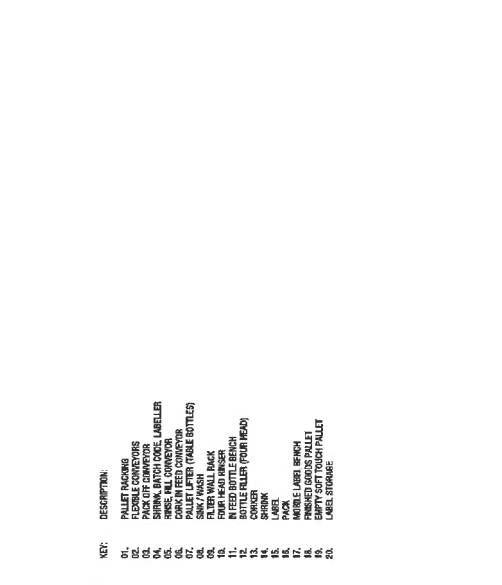
01. PROPOSED PLAN - BOTTLING & DISGORGING
1:100



02. PROPOSED ELEVATION - NORTH
1:100



03. PROPOSED ELEVATION - WEST
1:100



04. PROPOSED ELEVATION - SOUTH
1:100

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DEVELOPMENT APP.

No.	Description	Date
01	DEVELOPMENT APPLICATION	20/11/22

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Project:
LARK PONTVILLE
15 SERENE ROAD
PONTVILLE, HOUSMAN, NSW

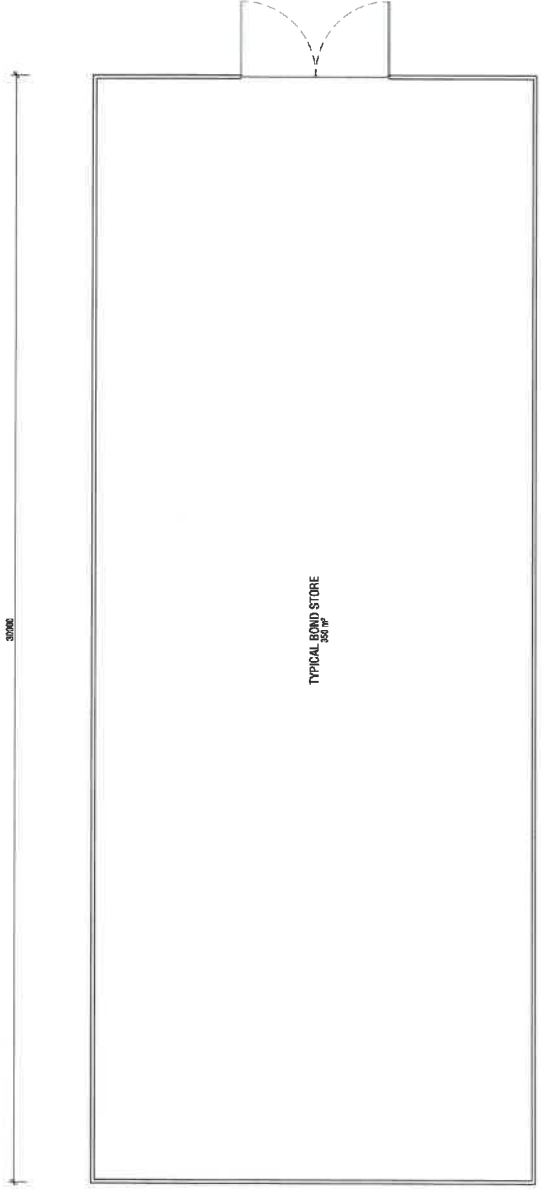
PROPOSED BOTTLING AND DISGORGING

Approved by:	DE	Checked by:	CL
Drawn by:	CL		
Date:	07.10.22		
Scale:	1:100 @ A2 OR AS NEEDED		
Project Number:	2122	Revision:	North
Drawing Number:			

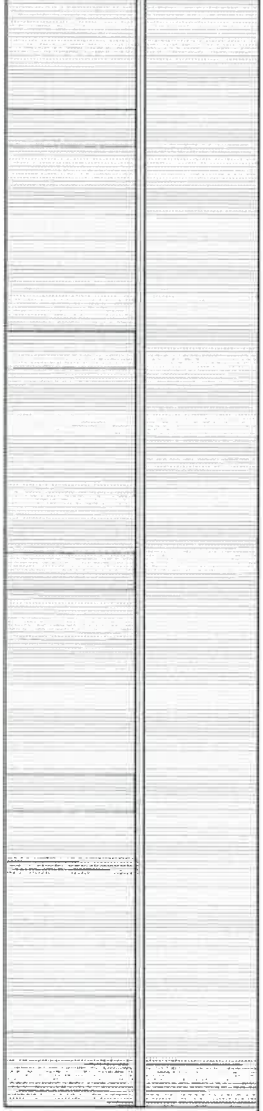
A902 01



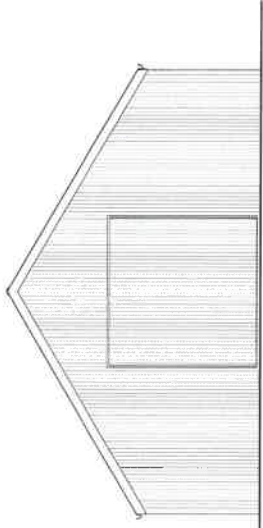
BMC - KEMPSON
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22/12/2022



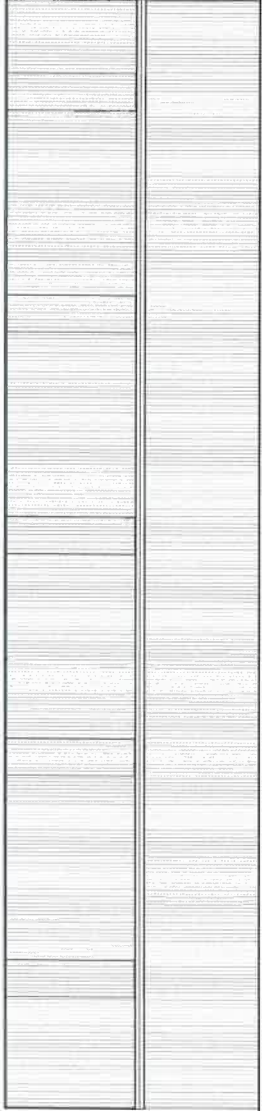
01 PROPOSED PLAN
1:100



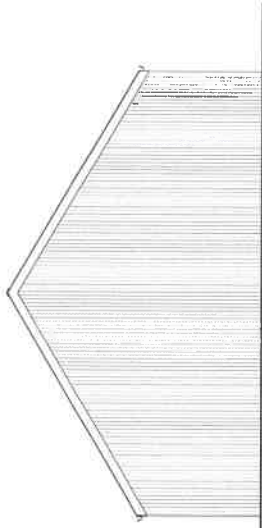
02 PROPOSED ELEVATION - WEST
1:100



03 PROPOSED ELEVATION - NORTH
1:100



04 PROPOSED ELEVATION - EAST
1:100



05 PROPOSED ELEVATION - SOUTH
1:100

- GENERAL NOTES:**
1. ALL DIMENSIONS TO BE CHECKED ON SITE BEFORE COMMENCEMENT OF WORKS.
 2. ALL DIMENSIONS AND DISCREPANCIES TO ARCHITECT FOR CLARIFICATION.
 3. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH THE CONTRACT DOCUMENTS.
 4. REFER TO STRUCTURAL ENGINEERS DOCUMENTS FOR ALL STRUCTURAL REQUIREMENTS.
 5. REFER TO MECHANICAL ENGINEER'S DOCUMENTS FOR PROPPING DETAILS.
 6. DO NOT SCALE OFF DRAWINGS.
 7. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE PROVISIONS FOR RESOLUTION OF THE PROVISIONS FOR RESOLUTION.
 8. THE WALL SURFACE BEHIND SHIMS, BATHS, AND BASINS TO BE FINISHED TO THE FINISH SPECIFIED IN THE CONTRACT DOCUMENTS.
 9. ALL INSTALLATION OF PROPRIETARY SYSTEMS ARE TO BE AS PER MANUFACTURER'S INSTALLATION AND RECOMMENDATIONS.
 10. ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE AUSTRALIAN AND ALL RELEVANT CURRENT STANDARDS INCLUDING:
 - AS1298 GLASS INFILLINGS - SELECTION AND INSTALLATION
 - AS1428 EQUIPMENT DESIGN AND MANUFACTURE DESIGN FOR ACCESS AND MOBILITY
 - AS1879.1 FIRE DETECTION, WARNING, CONTROL, AND INTERCOM SYSTEM - SYSTEM DESIGN, INSTALLATION AND COMMISSIONING - THE BUILDING AND COMMERCIAL - THE
 - AS1896.1 THE USE OF VENTILATION AND AIR-CONDITIONING IN BUILDINGS - FIRE AND SMOKE CONTROL
 - AS2018 AUTOMATIC FIRE AND SMOKELESS SYSTEMS
 - AS2047 MANDATORY MINIMUM SPECIFICATION FOR WINDING AND DOORS
 - AS2201.1 EMERGENCY WARNING AND INTERCOMMUNICATION SYSTEMS IN BUILDINGS
 - AS3000 ELECTRICAL INSTALLATIONS
 - AS3740 WATERPROOFING OF DOMESTIC WET AREAS
 - FC42004 PLUMBING CODE OF AUSTRALIA

NOTE: CONTRACTORS MUST REFER TO ARCHITECT'S WITH ENGINEERING PLUS PTY LTD'S BOND STORE DESIGN AND DOCUMENTATION.

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ABN 661573 8047 6626

DEVELOPMENT APP.

Rev.	Description	Date
01	DEVELOPMENT APPLICATION	30/09/22

NOT FOR CONSTRUCTION

Without disclaimer, this provides the scale drawings. Contractors shall verify all dimensions on site and take appropriate care to refer to commencement of work.

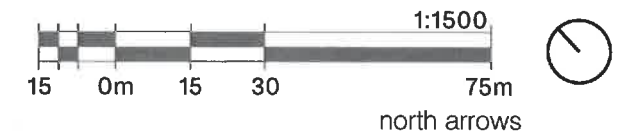
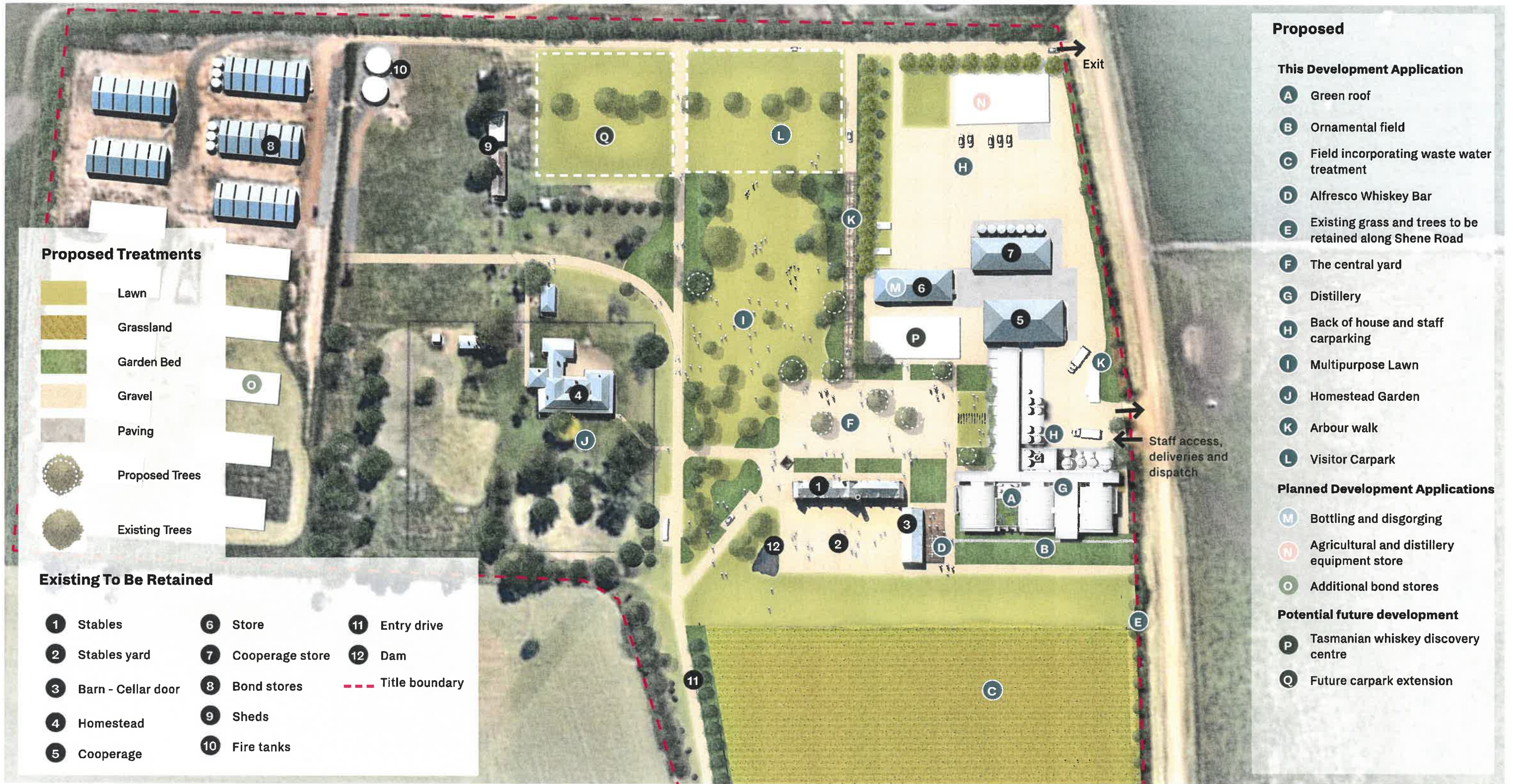
Project: LARK PONTVILLE
 76 SPINE ROAD PONTVILLE, VIC 3070

PROPOSED TYPICAL BOND STORE

Approved by	DE	Checked by	DL
Drawn by	DL		
Date	07/10/22		
Scale	1:100 @ A2 OR AS INDICATED		
Project Number	2120	Revision	None
Drawing Number			

A904 01

Detailed Masterplan





Bushfire Hazard Management Plan Report
Hazardous Use Distillery & Bond Stores - 76 Shene Road, Pontville

Client: Lark Distilling Co.
Date: November 2022

Prepared by: Rhys Menadue

BUSHFIRE PRONE DEVELOPMENT SOLUTIONS — 14 Reynolds Court, Dynnyrne, TAS 7005

T: 0407 595 317 E: bpdstas@gmail.com

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1.	Introduction	2
2.	Limitation of Report	3
3.	Site Description and Background	3
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3.2	Classification of Vegetation	5
3.3	Slope	5
4.	Bushfire Attack Level (BAL) Assessment	5
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9.	Conclusion	9
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Appendix A – Compliance Specification Notes

Appendix B – Topographic Map with Cadastral & Contour Overlay - indicates subject site

Appendix C – Site Images

Appendix D – ERA Planning Assessment addressing Code C13.5.2, P1

Appendix E – Bushfire Hazard Management Plan; and Planning Certificate & Certificate of Qualified Person
(Form 55) 2022.11-76 Shene

Appendix F – Bushfire Emergency Plan & Bushfire Action Plan

1. Introduction

The intent of this report is to confirm the suitability of the bushfire prone parcel of land to be successfully further developed for Hazardous Use (the properties are deemed *Hazardous* as they have *The amount of hazardous chemicals used, handled, generated or stored on site exceeds the manifest quantity as specified in the Work Health and Safety Regulations 2012*) associated with the development in accordance with the Tasmanian Planning Scheme – Southern Midlands and the Building Regulations 2016.

The assessment describes the site and surrounding area, classifying the vegetation, assessing the slope and environmental features. This report and Appendices also address the Hazardous Use requirements in accordance with the Tasmanian Planning Scheme – Southern Midlands and the Building Regulations 2016.

This report should be included with approval documentation forming part of and in support of the Bushfire Hazard Management Plan and accompanying Certification.

2. Limitation of Report

This report has been prepared for the abovementioned clients for their use and distribution only. The intent of the report is to provide technical specification for the Bushfire Hazard Management Plan and to be used as supporting documentation for the Regulatory Application. Should submitted Regulatory Application Plans differ from the Certified Plans in this reports Appendix then an amended design review should be conducted to determine the suitability of any amendments in relation to the Bushfire Prone Area Requirements of the Building Regulations.

It is also to be noted that the site assessment been conducted in August 2022 and does not consider the possibility of altered site conditions either naturally occurring or where currently maintained or excluded vegetation conditions change due to a lack of ongoing maintenance.

It should be noted that compliance with the recommendations contained in this assessment does not mean that there is no residual risk to life safety or property as a result of bushfire. A residual level of risk remains which recognizes that removing the risk to life and property in absolute terms is not achievable while people continue to build in bushfire prone areas. This limitation is expressed in the following extract from AS 3959 (2018) which states (in the forward),

It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behavior of fire, and extreme weather conditions.

This level of residual risk is inherent in all bushfire standards and also applies to this assessment. Should the recommendations and requirements of this Report and accompanying Bushfire Hazard Management Plan be appropriately implemented the use/development is unlikely to cause or contribute to the occurrence or intensification of bushfire on the site or adjacent land.

Ensure that all referenced documentation and plans are read in conjunction with all submitted Development Application and Building Application documents.

3. Site Description and Background

The Property is an existing distillery and bond store, previously Shene and now operated by Lark as "Pontville Distillery" located at 76 Shene Road, Pontville. The existing site consists of five bond stores (three more under construction), various sheds, a cottage, commercial kitchen, homestead, cooperage and storage, stables, cellar door and distillery.

It is proposed to add seven more bond stores, an agricultural store, change a cooperage to a bottling and disgorging building, and redevelop the distillery.

This application seeks to address a wholistic Bushfire Hazard Management Plan and the hazardous uses associated with the distillery operation as it applies to the site and this development.

This proposal has triggered the legislative need for a formalised *Bushfire Hazard Management Plan* and *Bushfire Emergency Response/Action Plan* in accordance with the Tasmanian Planning Scheme – Southern Midlands and the Building Regulations 2016.

The property is currently combination of grasses and landscaped areas within the allotment and external to the property are roadways and farming land with some farm buildings.

The site has multiple direct access to a pre-approved public road – Shene Road. The property is provided with a private hydrant water supply for fire-fighting – the proposed additions to the hydrant system will provide coverage to serve all proposed building.

3.1 Property Details

Address: 76 Shene Road, Pontville

Municipality: Southern Midlands Council

Planning Scheme Overlay: Bushfire Prone Areas Code; and Local Historical Heritage Code

Zoned: Rural

Title Reference: 175768/1

Type of Development/Use: Hazardous Use



Photo 1 - Aerial Photo with Cadastral Overlay – Subject site pinned and highlighted yellow

3.2 Classification of Vegetation

The vegetation affecting the site has been classified in accordance with Clause 2.2.3 of AS 3959-2018.

The site is surrounded by a combination of vegetation types, the highest of hazard levels being the Grassland to all directions where external to the site. Vegetation within the site is generally well maintained, however going forward this Bushfire Hazard Management Plan will nominate the extents of vegetation hazard management within the site boundaries. Therefore, the Bushfire-Prone vegetation affecting the site is predominantly the **Grassland** – Group G in accordance with AS3959-2018, as described above.

In this case, in accordance with Clause 2.2.2 of AS 3959-2018, the relevant Fire Danger Index for Tasmania of 50 (FDI 50).

When considering the definition of Bushfire Prone Area under the Building Regulations, it is evident the proposed development is located within a Bushfire-Prone Area Planning Scheme Overlay. Site assessment has confirmed this is applicable also.

Note: in a bushfire there is a possibility of fire attack from any direction, not just the direction of the highest hazard.

Photo 1, above indicates the Bushfire Prone Vegetation described.

3.3 Slope

The Effective slope of the land under the classified vegetation is determined in accordance with Clause 2.2.5 of AS 3959-2018.

The *effective* slope under the bushfire prone vegetation is Upslope/Flatland 0° to the North-East, North-West and South-West; and Downslope 0-5° to the South-East. Refer to Appendix A Image for topographic contour information.

4. Bushfire Attack Level (BAL) Assessment

The site Bushfire Assessment was undertaken in August 2022.

In accordance with Clause 2.2 of AS 3959-2018, the Simplified Procedure has been applied to determine the Bushfire Attack Level (BAL) for the proposed development site. In accordance with the Building Regulations 2016, fire-fighting water supply and vehicle access are also considered and discussed in the following sections.

Considering the current conditions, in accordance with AS3959-2009 the site is capable of achieving BAL-12.5 Hazard Management Area (HMA), which is the minimum standard required for a *Hazardous Use*.

Bush Fire Attack Level (BAL) AS3959-2018 Practical Workings (Table and figures below refer to AS3959-2018)

Assessed vegetation within 100m in all directions (denote relevant group)

Note 1: Refer to Table 2.3 and Figures 2.3 & 2.4 for description and classification of vegetation.

Note 2: If there is no classified vegetation within 100 m of the site then the BAL is LOW for that part of the site.

Vegetation classification (see Table 2.3)	North <input type="checkbox"/> North-West <input checked="" type="checkbox"/>	South <input type="checkbox"/> South-East <input checked="" type="checkbox"/>	West <input type="checkbox"/> South-West <input checked="" type="checkbox"/>	East <input type="checkbox"/> North-East <input checked="" type="checkbox"/>
Group G - Grassland	YES	YES	YES	YES

Exclusions (where applicable)	Highlight relevant paragraph descriptor from clause 2.2.3.2.			
	(b) (c) (d) (e) (f)	(b) (c) (d) (e) (f)	(b) (c) (d) (e) (f)	(b) (c) (d) (e) (f)

Distance to classified vegetation - Current	North-West	South-East	South-West	North-East
	~18m	~20m	>14m	~14m
Hazard Management Areas (HMA) distance to classified vegetation to achieve BAL-12.5	14m	16m	14m	14m
Required minimum HMA to be established under this BHMP	14m	16m	14m	14m

Effective slope - Slope under the classified vegetation	Upslope/0° <input checked="" type="checkbox"/>	Upslope/0° <input type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>	Upslope/0° <input checked="" type="checkbox"/>
	Downslope			
	>0 to 5 <input type="checkbox"/>	>0 to 5 <input checked="" type="checkbox"/>	>0 to 5 <input type="checkbox"/>	>0 to 5 <input type="checkbox"/>
	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>	>5 to 10 <input type="checkbox"/>
	>10 to 15 <input type="checkbox"/>	>10 to 15 <input type="checkbox"/>	>10 to 15 <input type="checkbox"/>	>10 to 15 <input type="checkbox"/>
	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>	>15 to 20 <input type="checkbox"/>

BAL value for each side of the site	BAL-12.5	BAL-12.5	BAL-12.5	BAL-12.5
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Determination of Bushfire Attack Level (BAL)

The Current BAL for this site is:	BAL-12.5
NOTE:	<p>The BAL rating is based upon the condition of vegetation encountered at the time of inspection. The vegetation within the lot shall be maintained to a Low Threat Level (in accordance with AS3959-2018); and vegetation external to the site may be subject to change over time - this BAL rating does not account for any future change to the state of/hazard levels of vegetation within or external to the site.</p> <p>The BAL rating only applies to the addition as indicated below - it is NOT a site generic BAL rating.</p>

5. Property Access

The primary access to the new and existing lot is from a un-sealed public road – Shene Road. There are two means of access and egress available.

There is access provisions to fire fighting water supplies already in place, which meet the requirements of the Code. The additional fire fighting water supplies (hydrants) are to be provided with compliant access for fire fighting vehicles.

As the buildings are currently and will be protected by an internal Fire Hydrant system, it is a requirements of detailed design documentation to address fire fighting vehicle access to the hydrant connections and provisions for compliant fire fighting vehicle hardstands.

Fire fighting vehicles will connect to the on-site hydrant water supply to defend the proposed and existing buildings. There is also an existing booster assembly connection – approved by previous applications for the existing bond stores.

The proposed distillery, bottling and additional bond store development on the will require provision of additional on-site hydrant and water supply for fire-fighting. Access provisions are made for fire fighting vehicles to connect to the hydrants and hydrant booster connections. The fire fighting vehicle access to hydrants will also be addressed through the Building Permit process.

Within the property boundaries, the access to the perimeter of the buildings will be adequately provided to facilitate fire-fighting to attempt to defend the building and to allow reasonable egress for occupants.

Emergency vehicle access is provided to the lot via the direct access to Shene Road.

The existing and proposed access shall satisfy the Deemed to Satisfy requirements of the Tasmanian Planning Scheme – Southern Midlands, Part C13.5 A3 and the Directors Determination – Bushfire Hazard Areas, Clause 2.3.2 Property Access and Table 2 Part C – Refer to the Certified Bushfire Hazard Management Plan Specification Notes and/or **Appendix A** – for detailed requirements.

6. Water Supply

The development does have access to a static water supply suitable for fire-fighting, this static water supply feeds an on-site hydrant system for fire-fighting purposes. The existing fire fighting water supply serving the bond stores is 300,000 litres. This is sufficient as a static water supply for the bond stores, however the fire fighting water supply will be upgraded if necessary to meet the requirements of the NCC and AS 2419.

Fire-fighting water supply is provided by a static water supply serving an on-site fire hydrant system – it is assumed the existing system is in accordance with the Tasmanian Planning Scheme - Southern Midlands, C13.5 Part A3, as there is an existing BHMP.

However the extent of the new uses and additions requires an upgrades static water supply for fire-fighting purposes. The new hydrant system is to be compliant with the NCC, AS 2419, the Directors Determination – Bushfire Hazard Areas, Clause 2.3.3 Water Supply for Firefighting and Table 3A – Refer to the Certified Bushfire Hazard Management Plan Specification Notes and/or **Appendix A** – for detailed requirements.

This development of the proposed Distillery, Cooperage, Bottling and Bond Stores requires upgraded fire-fighting hydrants, which are to be fed by a static water supply and hydrant system. The proposed on-site hydrant or static water supply system for fire-fighting, is to be capable of serving the most disadvantaged part of the buildings. The on-site hydrant system is to be designed and installed in accordance with the Building Act (Tas) and all subordinate legislation/regulations.

Fire appliance hardstand is also to be provided where connection to a fire-fighting water supply – either at static supply, a booster connection or hydrant location, where a fire appliance is deemed necessary (where a booster assembly is not provided).

7. Hazard Management Areas

Hazard management is required to be undertaken regularly and is to ensure that Hazard Management Areas within the development can be considered *low threat* in accordance with AS3959-2018. The Hazard management Area (HMA) is now specified to provide wholistic site management. This revised Bushfire Hazard Management Plan (BHMP) indicates the area of the lot being managed to a low threat state and provides for suitable separation distances from the development building to hazard to achieve the BAL-12.5 Separation distances (the minimum *Hazardous Use* standard to be achieved is BAL-12.5 as nominated by the BHMP). The Hazard Management Area (HMA) has/is to be established in accordance with the Bushfire Hazard Management Plan. The BHMP has been revised to suit the new building layout for the existing buildings, proposed new buildings, uses and bond stores applicable to this application.

The BHMP specified HMA demonstrates compliance with the Tasmania Planning Scheme - Southern Midlands, Part C13.5, A3 and the Directors Determination – Bushfire Hazard Areas, Clause 2.3.4 Hazard Management Areas and Table 4 Part F – Refer to the Certified Bushfire Hazard Management Plan Specification Notes and/or **Appendix A** – for detailed requirements.

Maintenance of the Hazards within the lot are to include (but are not limited to):

HAZARD MANAGEMENT AREAS - (HMA) –

Hazard Management Area includes the area to protect the buildings as well as the access and water supplies. Vegetation in the Hazard Management Area (the entire site) is to be managed and maintained in a minimum fuel condition, *Low Threat* vegetation in accordance with AS3959-2018.

Maintenance Schedule

- Removal of fallen limbs, leaf & bark litter
- Cut lawns short (less than 100mm) and maintain
- Remove pine bark and other flammable garden mulch
- Complete under-brushing and thin out the understorey
- Prune low hanging trees to ensure separation from ground litter
- Prune larger trees to establish and maintain horizontal and vertical canopy separation
- Minimise storage of petroleum fuels
- Maintain road access to the buildings to be defended and water storage area
- Remove fallen limbs, leaf & bark litter from roofs, gutters and around the building

8. Hazardous Use

The previous bond store planning application made provision for an emergency management strategy and assumed that a TFS approved *Bushfire Emergency Plan* and *Bushfire Action Plan* would be developed for the Building Permit application process in accordance with the Building Act. This has not yet been provided, possibly due to the bond stores still being partially under construction.

It is therefore recommended that a TFS approved *Bushfire Emergency Plan* and *Bushfire Action Plan* be generated with this Development Application

Hazardous Uses Planning Assessment is discussed in the ERA Planning Report – Refer to **Appendix D** below. The report discusses the acceptability of **Code C13.5, P1**.

Code C13.5, A2 and A3

The Emergency Management Strategy is addressed by provision of a TFS approved *Bushfire Emergency Plan* and *Bushfire Action Plan*, also in accordance with Directors Determination – Bushfire Hazard Areas, Clause 2.3.5

It is also noted the Pontville Distillery is already active in its Emergency Management Strategy and going forward will integrate the *Bushfire Hazard Management Plan* and *Bushfire Emergency Plan* and *Bushfire Action Plan* into the Emergency Management Strategy. These documents are to be reviewed and updated accordingly every twelve months.

9. Conclusion

The Bushfire Hazard Management Plan indicates BAL Rating requirements within the development lot and demonstrates the development will be able to achieve compliant Hazard Management and HMA.

The proposed Bushfire Hazard Management Plan, read in conjunction with this document, along with the Certification of referenced documents demonstrates likely compliance with the Building Regulations 2016 and associated Directors Determination – refer above sections 5 to 8 where applicable compliance is referenced.

10. References

- Tasmanian Planning Scheme - Southern Midlands
- Building Regulations 2016 and its referenced documents;
- LIST map version. Aerial Photograph [online]. Available from: <http://www.thelist.tas.gov.au/listmap/listmap>; and
- Standards Australia 2018, *Construction of buildings in bushfire prone areas*, AS 3959-2018.

Appendix A – Compliance Specification Notes

Standards for Property Access shall be compliant with Director’s Determination – Bushfire Hazard Areas Table 2, Part C – where fire fighting vehicles are required to enter the properties to fight fire

- B. Property access length is 200 metres or greater.**
The following design and construction requirements apply to property access:
- All-weather construction;
 - Load capacity of at least 20 tonnes, including for bridges and culverts;
 - Minimum carriageway width of 4 metres;
 - Minimum vertical clearance of 4 metres;
 - Minimum horizontal clearance of 0.5 metres from the edge of the carriageway;
 - Cross falls of less than 3° (1:20 or 5%);
 - Dips less than 7° (1:8 or 12.5%) entry and exit angle;
 - Curves with a minimum inner radius of 10 metres;
 - Maximum gradient of 15° (1:3.5 or 28%) for sealed roads, and 10° (1:5.5 or 18%) for unsealed roads; and
 - Terminate with a turning area for fire appliances provided by one of the following:
 - A turning circle with a minimum outer radius of 10 metres;
 - A property access encircling the building; or
 - A hammerhead “T” or “Y” turning head 4 metres wide and 8 metres long; and
 - passing bays of 2 metres additional carriageway width and 20 metres length provided every 200 metres.

Standards for Reticulated Water Supply for Fire Fighting shall be compliant with Director’s Determination – Bushfire Hazard Areas Table 3A all parts

- A. Distance between building area to be protected and water supply**
The following requirements apply:
- The building area to be protected must be located within 120 metres of a fire hydrant; and
 - The distance must be measured as a hose lay, between the water connection point and the furthest part of the building area.
- B. Design criteria for fire hydrants**
The following requirements apply:
- Fire hydrant system must be designed and constructed in accordance with TasWater Supplement to Water Supply Code of Australia WSA 03 – 2011-3.1 MRWA Edition 2.0; and
 - Fire hydrants are not installed in parking areas.
- C. Hardstand**
A hardstand area for fire appliances must be provided:
- No more than three metres from the hydrant, measured as a hose lay;
 - No closer than six metres from the building area to be protected;
 - With a minimum width of three metres constructed to the same standard as the carriageway; and
 - Connected to the property access by a carriageway equivalent to the standard of the property access.

Standards for Hazard Management Areas Requirements shall be compliant with Director’s Determination – Bushfire Hazard Areas Table 4.4, Part F

- F. Hazard management areas for new buildings and additions and alterations to buildings associated with a hazardous use**
A new building or an alteration or addition including change of use, for a building determined as a hazardous use must:
- Be located on the lot so as to be provided with HMAs no smaller than the required separation distances for the BAL determined in the certified bushfire hazard management plan (BAL-12.5); and
 - Have an HMA established in accordance with a certified bushfire hazard management plan.





BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993

1. Land to which certificate applies

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

76 Shene Road, Pontville

Certificate of Title / PID:

175768/1

2. Proposed Use or Development

Description of proposed Use and Development:

Hazardous Use

Applicable Planning Scheme:

Tasmania Planning Scheme - Southern Midlands

3. Documents relied upon

This certificate relates to the following documents:

Title	Author	Date	Version
Bushfire Hazard Management Plan – Certificate No. 2022.11 – 76 Shene	Rhys Menadue	November 2022	Rev 1
Bushfire Hazard Management Plan Report – Hazardous Use Distillery & Bond Stores – 76 Shene Road, Pontville, by Rhys Menadue dated November 2022 (inclusive of appendices A to F)	Rhys Menadue	November 2022	Rev 1

¹ This document is the approved form of certification for this purpose and must not be altered from its original form.



as Table 2, Part C –

roads; and

30 metres.

ation – Bushfire

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ent to Water Supply

4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

<input type="checkbox"/> E1.4 / C13.4 – Use or development exempt from this Code	
Compliance test	Compliance Requirement
<input type="checkbox"/> E1.4(a) / C13.4.1(a)	Insufficient increase in risk

<input type="checkbox"/> E1.5.1 / C13.5.1 – Vulnerable Uses	
Acceptable Solution	Compliance Requirement
<input type="checkbox"/> E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
<input type="checkbox"/> E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

<input checked="" type="checkbox"/> E1.5.2 / C13.5.2 – Hazardous Uses	
Acceptable Solution	Compliance Requirement
<input checked="" type="checkbox"/> E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input checked="" type="checkbox"/> E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
<input checked="" type="checkbox"/> E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

<input type="checkbox"/> E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas	
Acceptable Solution	Compliance Requirement
<input type="checkbox"/> E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
<input type="checkbox"/> E1.6.1 A1 (b) / C13.6.1 A1(b)	Provides BAL-19 for all lots (including any lot designated as 'balance')
<input type="checkbox"/> E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement

<input type="checkbox"/>	E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.2 A1 (b) / C13.6.2 A1 (b)	Access complies with relevant Tables

<input type="checkbox"/>	E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.3 A1 (b) / C13.6.3 A1 (b)	Reticulated water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective
<input type="checkbox"/>	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk
<input type="checkbox"/>	E1.6.3 A2 (b) / C13.6.3 A2 (b)	Static water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

5. Bushfire Hazard Practitioner

Name:

Rhys Menadue

Phone No:

0407 595 317

Postal Address:

14 Reynolds Court, Dynnyrne 7005

Email Address:

rhmenadue@gmail.com

Accreditation No:

BFP – 106

Scope:

1, 2, 3A, 3B, 3C

6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

- Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or
- The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

Signed:
certifier**Name:**

Rhys Menadue

Date:

November 2022

Certificate Number:

2022.11 – 76 Shene

(for Practitioner Use only)

CERTIFICATE OF QUALIFIED PERSON – ASSESSABLE ITEM**Section 321**

To: *Owner/Agent*
 Address
 Suburb/postcode

Form **55****Qualified person details:**

Qualified person:
 Address:
 Phone No:
 Fax No:
 Licence No: Email address:

Qualifications and Insurance details: *(description from Column 3 of the Director of Building Control's Determination)*

Speciality area of expertise: *(description from Column 4 of the Director of Building Control's Determination)*

Details of work:

Address: Lot No:
 Certificate of title No:
 The assessable item related to this certificate: *(description of the assessable item being certified)*
 Assessable item includes –
 - a material;
 - a design
 - a form of construction
 - a document
 - testing of a component, building system or plumbing system
 - an inspection, or assessment, performed

Certificate details:

Certificate type: *(description from Column 1 of Schedule 1 of the Director of Building Control's Determination)*

This certificate is in relation to the above assessable item, at any stage, as part of - (tick one)

building work, plumbing work or plumbing installation or demolition work:

or

a building, temporary structure or plumbing installation:

In issuing this certificate the following matters are relevant –

Documents:

- Bushfire Hazard Management Plan Report – Hazardous Use Distillery & Bond Stores – 76 Shene Road, Pontville, by Rhys Menadue dated November 2022 (inclusive of appendices A to F) – Rev 1

Relevant calculations:

- In Accordance with AS3959-2009; and
- the Building Regulations (TAS).

References:

- AS3959-2009;
- the Building Regulations (TAS); and
- Building Code of Australia (BCA).

Substance of Certificate: (what it is that is being certified)

BAL Rating (BAL-12.5) & Bushfire Hazard Management Plan

Scope and/or Limitations

The assessment has been conducted according to information provided by the designer/client and freely available historical data and does not take into account the possibility of altered site conditions from the data relied upon.

It should be noted compliance with the recommendations contained in the certified documents does not mean that there is no residual risk to life safety and property as a result of bushfire. The limitation is expressed in the following extract from AS3959-2009, which states:

It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.

The level of residual risk is inherent in all bushfire standards and also applies to this certification.

The assessment has been undertaken and certification provided on the understanding that; -


1. The certificate only deals with the potential bushfire risk all other statutory assessments are outside the scope of this report.
2. The report only identifies the size, volume and status of vegetation at the time the site inspection was undertaken and cannot be relied upon for any future development.

Impacts of future development and vegetation growth have not been considered.

I certify the matters described in this certificate.

Qualified person:

Signed:



Certificate No:

2022.11 – 76 Shene

Date:

23.11.2022

Appendix F

- Lark at Pontville - Emergency Management Plan (existing)
- Bushfire Emergency Plan & Bushfire Action Plan