



ATTACHMENTS

ORDINARY COUNCIL MEETING

Kempton Municipal Offices
85 Main Road, Kempton
Wednesday 25th October 2023
10.00 a.m.

Item 5.1	Draft Council Meeting Minutes (Open) – 27 th September 2023
Item 5.2.1	Woodsdale Hall General Committee Meeting Minutes – 18 th September 2023 Woodsdale Hall AGM Minutes – 18 th September 2023 Woodsdale Hall General Committee Meeting Minutes – 9 th October 2023 Oatlands Community Shed AGM Minutes – 9 th October 2023 Campania Recreation Ground Management Committee Meeting – 19 th September 2023
Item 12.2.1	SA2200005 Development Application Documents
Item 12.2.2	DA2300013 Development Application Documents
Item 12.4.1	DA2023/040 Development Application Documents
Item 15.3.1	Heritage & Bullock Festival Evaluation Report
Item 18.1.1	Heads of Agreement and License – 16 Church Street, Oatlands

SOUTHERN
MIDLANDS
COUNCIL



MINUTES

ORDINARY COUNCIL MEETING

Wednesday, 27th September 2023
10.00 a.m.

Oatlands Municipal Offices
71 High Street, Oatlands

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OPEN COUNCIL MINUTES

MINUTES OF AN ORDINARY MEETING OF THE SOUTHERN MIDLANDS COUNCIL HELD ON WEDNESDAY 27th SEPTEMBER 2023 AT THE OATLANDS MUNICIPAL OFFICES COMMENCING AT 10.00 A.M

1. PRAYERS

Reverend Dennis Cousens recited prayers.

2. ACKNOWLEDGEMENT OF COUNTRY

Mayor E Batt recited Acknowledgement of Country.

3. ATTENDANCE

Mayor E Batt, Deputy Mayor K Dudgeon, Clr A E Bisdee OAM, Clr D Blackwell, Clr D Fish, Clr R McDougall and Clr F Miller.

Mr T Kirkwood (General Manager) joined meeting at 10.45, Mr G Finn (Manager Development and Environmental Services), Mrs A Burbury (Finance Officer), Mr A Benson (Deputy General Manager), Mr D Richardson (Manager Infrastructure & Works) Bradley Williams (Manager Heritage Projects) Rachel Collis & David Dwyer (Animal Management Officers) Ms S Holliday (Receptionist / Administration Officer)

4. APOLOGIES

Nil.

5. MINUTES

5.1 Ordinary Council Meeting

The Minutes (Open Council Minutes) of the previous meeting of Council held on the 23rd August 2023, as circulated, are submitted for confirmation.

RECOMMENDATION

THAT the Minutes (Open Council Minutes) of the Council Meeting held 23rd August 2023 be confirmed.

DECISION

Moved by Clr A E Bisdee OAM, seconded by Clr R McDougall

THAT the Minutes (Open Council Minutes) of the Council Meeting held 23rd August 2023 be confirmed.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

5.2 Special Committees of Council Minutes

5.2.1 Special Committees of Council - Receipt of Minutes

The Minutes of the following Special Committees of Council, as circulated, are submitted for receipt:

- Chauncy Vale Wildlife Sanctuary Management Committee - 4th September 2023
- Southern Midlands Management Emergency Management Committee – 5th September 2023
- Facilities and Recreation Committee – 13th September 2023

RECOMMENDATION

THAT the minutes of the above Special Committees of Council be received.

DECISION

Moved by Clr R McDougall, seconded by Deputy Mayor K Dudgeon

THAT the minutes of the above Special Committees of Council be received.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

5.2.2 Special Committees of Council - Endorsement of Recommendations

The recommendations contained within the minutes of the following Special Committees of Council are submitted for endorsement:

- Chauncy Vale Wildlife Sanctuary Management Committee - 4th September 2023
- Southern Midlands Emergency Management Committee – 5th September 2023
- Facilities and Recreation Committee – 13th September 2023

RECOMMENDATION

THAT the recommendations contained within the minutes of the above Special Committees of Council be endorsed.

DECISION

Moved by Deputy Mayor K Dudgeon, seconded by Clr A E Bisdee OAM

THAT the recommendations contained within the minutes of the above Special Committees of Council be endorsed.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

5.3 Joint Authorities (Established Under Division 4 Of The *Local Government Act 1993*)

5.3.1 Joint Authorities - Receipt of Minutes

Nil.

5.3.2 Joint Authorities - Receipt of Reports (Annual & Quarterly)

Nil.

6. NOTIFICATION OF COUNCIL WORKSHOPS

In accordance with the requirements of the *Local Government (Meeting Procedures) Regulations 2015*, the Agenda is to include details of any Council workshop held since the last meeting.

One workshop has been held since the last Ordinary Meeting.

A workshop was held on the 11th September 2023 at the Council Chambers, Oatlands commencing at 9.30 a.m.

RECOMMENDATION

THAT the information be received.

DECISION

Moved by Deputy Mayor K Dudgeon, seconded by Clr R McDougall

THAT the information be received.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

7. COUNCILLORS – QUESTION TIME

7.1 Questions (On Notice)

Regulation 30 of the *Local Government (Meeting Procedures) Regulations 2015* relates to Questions on notice. It states:

- (1) *A councillor, at least 7 days before an ordinary council meeting or a council committee meeting, may give written notice to the general manager of a question in respect of which the councillor seeks an answer at that meeting.*
- (2) *An answer to a question on notice must be in writing.*

Nil.

7.2 Questions Without Notice

Section 29 of the *Local Government (Meeting Procedures) Regulations 2015* relates to Questions without notice.

It states:

“29. Questions without notice

- (1) *A councillor at a meeting may ask a question without notice –*
 - (a) *of the chairperson; or*
 - (b) *through the chairperson, of –*
 - (i) *another councillor; or*
 - (ii) *the general manager.*

- (2) *In putting a question without notice at a meeting, a councillor must not –
 - (a) offer an argument or opinion; or
 - (b) draw any inferences or make any imputations – except so far as may be necessary to explain the question.*
- (3) *The chairperson of a meeting must not permit any debate of a question without notice or its answer.*
- (4) *The chairperson, councillor or general manager who is asked a question without notice at a meeting may decline to answer the question.*
- (5) *The chairperson of a meeting may refuse to accept a question without notice if it does not relate to the activities of the council.*
- (6) *Questions without notice, and any answers to those questions, are not required to be recorded in the minutes of the meeting.*
- (7) *The chairperson of a meeting may require a councillor to put a question without notice in writing.*

An opportunity is provided for Councillors to ask questions relating to Council business, previous Agenda items or issues of a general nature.

Deputy Mayor K Dudgeon - Woodsdale Cemetery – has any update been received.

The Tasmanian Parks and Wildlife Service has advised that they are at a stage whereby they intend to write to all persons with an existing burial plot (to confirm details) and place a Public Advertisement at the same time. Following confirmation of all information received, it will be referred to an Auditor for certification of all documents.

No timeframe provided for audit certification and issue of Certificate of Compliance.

Clr A E Bisdee - seeking Council support and endorsement for the Deputy General Manger to assist with the preparation of a draft grant application for the design and installation of a memorial to recognise John Hutton Bisdee VC to be located at Melton Mowbray Park.

The Deputy General Manager reminded Councillors that John Hutton Bisdee VC was the first Tasmanian born member of the defence force to be awarded a Victoria Cross. To be referred to Council for final approval.

Clr F Miller – The Council carpark at Campania has a ‘No Standing’ sign erected within the carpark. Are these signs proposed to be permanent or not? Further he asked if the access to the carpark had been reduced?

The Deputy General Manager advised that the signs were probably placed there during the construction phase of the ‘Vulnerable Road Users Grant Program’, where the kerb, channel and footpath has been constructed. The ‘No Standing’ signs will be checked with the design plans of the carpark and removed if they do not comply with the design.

In respect to the access, the Deputy General Manager advised that the access for Climie Street was the formal access to the carpark and that has been improved with the new design. He did note that the capacity of the carpark has been minimised in the past by Tas Rail depositing their rail line ballast materials within the property owned by Council. Tas Rail has

been made aware of this and will ensure that in future their materials will stay within the Tas Rail site curtilage.

Clr D Fish - Baden Hall – referring to the Facilities and Recreation Committee Meeting Minutes in respect to the recently destroyed Baden Hall.

The plaque should be a suitable one and the community should be consulted.

[EXTRACT Facilities & Recreation Committee Minutes]

DECISION / COMMITTEE'S RECOMMENDATION TO COUNCIL

Moved by Deputy Mayor K Dudgeon, seconded by Mayor E Batt

THAT:

1. ;
2. **a plaque and a representational minor structure be installed in the road reservation at Baden, to preserve the history of the Baden Hall; and**
3.

[END of EXTRACT Facilities & Recreation Committee Minutes]

The Deputy General Manager advised an extensive consultation will be undertaken with the local community, and a survey will be undertaken on the chimney that is still standing to ensure its safety with some para webbing around the chimney. The discussions will be firstly undertaken with the property owner as the structure is on private land.

Clr R McDougall – Bagdad Community Club Precinct Master Plan – any update available?

Question taken on notice due to absence of General Manager.

8. DECLARATIONS OF PECUNIARY INTEREST

In accordance with the requirements of Part 2 Regulation 8 of the *Local Government (Meeting Procedures) Regulations 2015*, the chairman of a meeting is to request Councillors to indicate whether they have, or are likely to have, a pecuniary interest in any item on the Agenda.

Accordingly, Councillors are requested to advise of a pecuniary interest they may have in respect to any matter on the agenda, or any supplementary item to the agenda, which Council has resolved to deal with, in accordance with Part 2 Regulation 8 (6) of the *Local Government (Meeting Procedures) Regulations 2015*.

Item 16.1.1 – Community Small Grants Program 2023

Mayor E Batt to declare an Interest in the Grant Program decision relating to the 'Families Tasmania' application.

Deputy Mayor K Dudgeon to declare an Interest in the Grant Program decisions as they relate to the 'Woodsdale Hall Committee' and the 'Oatlands Bowls Club'.

9. CONSIDERATION OF SUPPLEMENTARY ITEMS TO THE AGENDA

In accordance with the requirements of Part 2 Regulation 8 (6) of the *Local Government (Meeting Procedures) Regulations 2015*, the Council, by absolute majority may decide at an ordinary meeting to deal with a matter that is not on the agenda if the General Manager has reported –

- (a) the reason it was not possible to include the matter on the agenda; and
- (b) that the matter is urgent; and
- (c) that advice has been provided under section 65 of the Act.

- New Southern Youth Detention Facility Site – 466 Brighton Road, Pontville

RECOMMENDATION

THAT the Council resolve by absolute majority to deal with any supplementary items not appearing on the agenda, as reported by the General Manager in accordance with the provisions of the *Local Government (Meeting Procedures) Regulations 2015*.

DECISION

Moved by Deputy Mayor K Dudgeon, seconded by Clr D Fish

THAT the Council resolve by absolute majority to deal with the above listed supplementary item not appearing on the agenda, as reported by the General Manager in accordance with the provisions of the *Local Government (Meeting Procedures) Regulations 2015*.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

10. PUBLIC QUESTION TIME (SCHEDULED FOR 10.30 A.M.)

In accordance with the requirements of Part 2 Regulation 8 of the *Local Government (Meeting Procedures) Regulations 2015*, the agenda is to make provision for public question time.

In particular, Regulation 31 of the *Local Government (Meeting Procedures) Regulations 2015* states:

- (1) *Members of the public may give written notice to the General Manager 7 days before an ordinary meeting of Council of a question to be asked at the meeting.*
- (2) *The chairperson may –*
 - (a) *address questions on notice submitted by members of the public; and*
 - (b) *invite any member of the public present at an ordinary meeting to ask questions relating to the activities of the Council.*
- (3) *The chairperson at an ordinary meeting of a council must ensure that, if required, at least 15 minutes of that meeting is made available for questions by members of the public.*
- (4) *A question by any member of the public under this regulation and an answer to that question are not to be debated.*
- (5) *The chairperson may –*
 - (a) *refuse to accept a question; or*
 - (b) *require a question to be put on notice and in writing to be answered at a later meeting.*
- (6) *If the chairperson refuses to accept a question, the chairperson is to give reasons for doing so.*

Councillors are advised that, at the time of issuing the Agenda, one Question on Notice had been received from a member of the Public.

Dr Richard Barnes – Banticks Road, Mangalore - Email received Tuesday 12th September 2023

'Who is paying for the rebuilding and/or resurfacing of the gravel truck (generated by the Mangalore Quarry owned by Hazell Brothers) destroyed section of Black Brush Road? That section is from the Midland Highway to Mountford Drive',

RESPONSE - MANAGER INFRASTRUCTURE & WORKS (DAVID RICHARDSON)

Council has allocated an amount of \$180K for reconstruction and sealing of approximately 1 kilometre of Blackbrush Road which commences from the junction with the Midland Highway at Mangalore. Approximately half of this total project cost has been allocated to the 'Roads to Recovery' Grant Program (i.e. Australian Government funding).

These works are part of Council's planned road rehabilitation works program and this section has been programmed for re-construction for a number of years.

Mayor E Batt referred to a subsequent Email received from Dr Barnes (circulated to all Councillor's) that he was not satisfied with the answer provided as it did not confirm who was meeting the cost of the project.

In response to the Email, it was acknowledged that an additional statement will be included in the response which confirms that the balance of funding (i.e. \$90,000) will be funded directly by Council.

Mayor to invite questions from members of the public in attendance.

Mr Terry Loftus – sought clarification of issue relation to the Subdivision application at 14 14 Queen Anne Street, Oatlands.

Mayor Edwin Batt stated Mr Loftus cannot add a submission about a planning matter now as this item would be determined later by Council in its capacity as a Planning Authority.

Mr Loftus said the scheme plan (to which he referred, however he did not circulate) illustrated a different cul-de-sac configuration as to the one that was advertised. Without having viewed the plan to which Mr Loftus was referring to, Mr Finn advised that there were indeed a number of plan iterations and quite possibly it was human error in document control that a different plan was made publicly available.

Mr Loftus asked if council going to warn buyers of flood plain, and stormwater generated from council roads. Mr Finn advised that the subject site was not affected by a flood overlay and that the issues of stormwater were to be addressed via the adoption of an appropriate condition of approval.

Grant Finn stated that the road would be constructed and sealed in accordance with LGAT Standards and street lighting would be a TAS Networks undertaking. Street lighting is considered appropriate given the sites underlying zoning.

Mr Loftus also asked if Queen Ann Street and Glenelg St will join up and Grant Finn advised no it will not join up.

Julia Jabour- Southern Midlands Regional News – Are Council in a position to advise about any progress for the boutique hotel?

The Deputy General Manager advised that meeting that he anticipates a Development Application to be lodged prior to the end of the year.

10.1 Permission to Address Council

Nil.

11. MOTIONS OF WHICH NOTICE HAS BEEN GIVEN UNDER REGULATION 16 (5) OF THE LOCAL GOVERNMENT (MEETING PROCEDURES) REGULATIONS 2015

Nil.

12. COUNCIL ACTING AS A PLANNING AUTHORITY PURSUANT TO THE LAND USE PLANNING AND APPROVALS ACT 1993 AND COUNCIL'S STATUTORY LAND USE PLANNING SCHEME

Session of Council sitting as a Planning Authority pursuant to the Land Use Planning and Approvals Act 1993 and Council's statutory land use planning schemes.

12.1 Development Applications

Nil.

12.2 Subdivisions

12.2.1 Development Application (SA2200005) for Subdivision (14 Lots) at 14 Queen Anne Street, Oatlands, submitted by R Mandelson

Item 12.2.1 withdrawn from the Agenda following confirmation that the applicant has provided an extension of time for the application to be considered at the next Ordinary Council Meeting.

DECISION

Moved by Deputy Mayor K Dudgeon, seconded by Clr R McDougall

THAT the meeting be adjourned for morning tea at 11.00 a.m.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

DECISION

Moved by Clr D Fish, seconded by Clr A E Bisdee OAM

THAT the meeting reconvene at 11.15 a.m.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

12.3 Municipal Seal (Planning Authority)

Nil.

12.4 Planning (Other)

Nil.

**[THIS CONCLUDES THE SESSION OF COUNCIL
ACTING AS A PLANNING AUTHORITY]**

13. OPERATIONAL MATTERS ARISING (STRATEGIC THEME – INFRASTRUCTURE)

13.1 Roads

Strategic Plan Reference 1.1
Maintenance and improvement of the standard and safety of roads in the municipal area.

Nil.

13.2 Bridges

Strategic Plan Reference 1.2
Maintenance and improvement of the standard and safety of bridges in the municipality.

Nil.

13.3 Walkways, Cycle Ways and Trails

Strategic Plan Reference 1.3
Maintenance and improvement of the standard and safety of walkways, cycle ways and pedestrian areas to provide consistent accessibility.

Nil.

13.4 Lighting

Strategic Plan Reference 1.4
Ensure adequate lighting based on demonstrated need / Contestability of energy supply.

Nil.

13.5 Buildings

Strategic Plan Reference 1.5
Maintenance and improvement of the standard and safety of public buildings in the municipality.

Nil.

13.6 Sewers / Water

Strategic Plan Reference(s) 1.6
Increase the capacity of access to reticulated sewerage services / Increase the capacity and ability to access water to satisfy development and Community to have access to reticulated water.

Nil.

13.7 Drainage

Strategic Plan Reference 1.7
Maintenance and improvement of the town storm-water drainage systems.

Nil.

13.8 Waste

Strategic Plan Reference 1.8

Maintenance and improvement of the provision of waste management services to the Community.

Nil.

13.9 Information, Communication Technology

Strategic Plan Reference 1.9

Improve access to modern communications infrastructure.

Nil.

13.10 Officer Reports – Infrastructure & Works

13.10.1 Manager – Infrastructure & Works Report

Author: MANAGER INFRASTRUCTURE & WORKS (DAVID RICHARDSON)

Date: 20 SEPTEMBER 2023

Enclosure(s):

Nil.

Roads Program

Council's graders have been working on various Roads with the bus routes being the priority roads for grading as required. The focus has been to prioritise the higher traffic usage areas of roads. General road maintenance and repairs will continue, including works on pavement repairs and table drain clearing on a priority basis. The annual roadside slashing works will commence soon to mitigate the risk related to the proposed climatic conditions that are expected over the coming period.

Current Capital Work.

Planning design works are completed for the upgrade of Interlaken road .Currently working on tender documents and specifications.

Bagdad-Mangalore hydraulic flood assessment works have almost been completed it is expected that the first draft will be finalised in the coming weeks.

Reeve-Climie street Campania upgrades to curb and gutter and footpaths are completed. These works are to improve the existing access to the carpark and footpath linkages.

Trees have been planted and water stations are being installed at the Kempton dog park.

Elderslie road and Blackbrush road junction has had advanced chevron warning signs installed.

The bus shelter at Dysart has been cleared of vegetation and the area adjacent piped to provide a safer area.

A wildlife warning sign has been installed on Winstead Road Bagdad.

The Campania oval cricket pitch has been widened and a new synthetic surface will be installed soon.

Parks and Reserves

General maintenance of parks and reserves will continue with a focus on ensuring growth is maintained at an acceptable level. Council's parks and reserves personnel have been undertaking annual tree pruning and preventative maintenance works. The focus will now move to mowing during the spring period.

Bridge Works

A number of bridges will require some minor rectification works over the coming period as a result of weather conditions.

Building Services Unit

Council's building services unit have completed construction of the Bagdad child care centre additions.

An extensive renovation job is underway for a private client in the Midlands area.

Construction of 2 accommodation units in Oatlands will commence shortly, the shed at the site has been removed.

Planned Works

The following capital works are planned for the coming period

Drainage and pavement repairs various roads.

Undertake various bridge maintenance repairs.

Re-Sheeting various un-sealed roads.

Advertise the tender for Interlaken Road Re-Construction works.

Commence construction of accommodation units Oatlands.

Continue footpath re-newel works Kempton Main Street.-Southern end.

Advertise council's annual road re-construction and sealing tenders.

QUESTIONS WITHOUT NOTICE TO MANAGER, INFRASTRUCTURE & WORKS

ANSWERS: from August Council Meeting

Clr D Fish – Bottleshop (Celebrations) – High Street, Oatlands (limited time parking) – owner has requested 15 minute time parking (High Street frontage) – to be investigated.
15 minute parking sign has been installed

Clr D Fish – Callington Mill (Staff Parking) – issue has been raised with the Distillery management and staff have been requested to use alternative parking. Limited time parking signs in the vicinity of the Lake Toilets – to be investigated.
Difficult to enforce any timed parking signage without appropriate by-law

Deputy Mayor K Dudgeon – Anstey Court, Oatlands – tree roots in road pavement

Programmed to be rectified

Deputy Mayor K Dudgeon – Woodsdale Road – vicinity of Community Hall – bitumen patching required.

Minor repairs completed. Pavement dig-outs required and added to the works programme

Mayor E Batt – Dysart Drive, Dysart – establishment of School Bus ‘Pull-over’ Area – to be considered in association with road upgrade(s).

Preliminary works completed, including site clearance and piping of open drain – pavement works to be undertaken.

Mayor E Batt – Rubbish Bins (Junior Council proposal) – Council to purchase six (6) rubbish bins which are to be painted prior to installation.

Being investigated

Deputy Mayor K Dudgeon – Oatlands Waste Transfer Station - disposal of building rubble and is disposal permitted at the Oatlands Waste Transfer Station?

Will require an amendment to the fees and charges to facilitate small quantities of rubble due to cost of disposal and transport

The meeting discussed the removal of the cladding from the Bus Shelter on Elderslie Road (vicinity of Bluff Road). Recladding to be arranged possibly using a more secure means of attaching the cladding. It was recognised that the Brighton Rotary Club supplied the shelter and may assist with repair.

Clr D Blackwell – Elderslie / Pelham Road – requires maintenance (i.e. bitumen patching)

The Manager Infrastructure & Works informed the meeting that the works were being undertaken today. Road shouldering has already been completed.

Clr F Miller – Colebrook Main Road / Mudwalls Road – commented about ‘hooning’ on sections of the Colebrook Main Road noting that this was a Police matter (and Department of State Growth).

The Manager Infrastructure & Works commented that the DSG is undertaking significant road rehabilitations works on the Colebrook Main Road.

Clr D Fish – Interlaken Road – Tender – are potential tenderers aware of the amount available for the project?

The Manager Infrastructure & Works advised that this information can be readily obtained from the Council Budget documents. The Tenders do however include a ‘Bill of Quantities’ that is to be completed by the tenderer which provides the competitive outcomes.

Clr R McDougall – acknowledged the timely relocation of the ‘Wildlife’ protection sign at Bagdad (as requested) and the maintenance work undertaken at the Tunnack Recreation Ground play area.

Clr R McDougall – Esplanade, Oatlands and Eldon Road, Colebrook – require maintenance (i.e. pavement failures).

To be addressed.

Mayor E Batt – Lower Marshes Road – commented in relation to a recent accident and questioned if there is a need to review the extent of road safety signage in this location.

To be investigated noting that there is a plan to undertake a complete signage audit across all Council roads (as and when time permits).

Deputy Mayor K Dudgeon – damaged sign(s) at the intersection of Tunnack Main Road and High Street, Oatlands.

Responsibility of the Department of State Growth – replacement signage has been ordered.

RECOMMENDATION

THAT the Infrastructure & Works Report be received and the information noted.

DECISION

Moved by Clr D Fish, seconded by Clr R McDougall

THAT the Infrastructure & Works Report be received and the information noted.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

14. OPERATIONAL MATTERS ARISING (STRATEGIC THEME – GROWTH)

14.1 Residential

Strategic Plan Reference 2.1

Increase the resident, rate-paying population in the municipality.

Nil.

14.2 Tourism

Strategic Plan Reference 2.2

Increase the number of tourists visiting and spending money in the municipality.

Nil.

14.3 Business

Strategic Plan Reference 2.3

Increase the number and diversity of businesses in the Southern Midlands / Increase employment within the municipality / Increase Council revenue to facilitate business and development activities (social enterprise).

Nil.

14.4 Industry

Strategic Plan Reference 2.4

Retain and enhance the development of the rural sector as a key economic driver in the Southern Midlands / Increase access to irrigation water within the municipality.

Nil.

15. OPERATIONAL MATTERS ARISING (STRATEGIC THEME – LANDSCAPES)

15.1 Heritage

Strategic Plan Reference – Page 22

- 3.1.1 Maintenance and restoration of significant public heritage assets.
- 3.1.2 Act as an advocate for heritage and provide support to heritage property owners.
- 3.1.3 Investigate document, understand and promote the heritage values of the Southern Midlands.

RECOMMENDATION

THAT the Heritage Projects Program Report be received and the information noted.

DECISION

Moved by Cllr A E Bisdee OAM, seconded by Deputy Mayor K Dudgeon

THAT:

- a) the Heritage Projects Program Report be received and the information noted; and
- b) the Heritage Project Team be commended for their professionalism and the extent of knowledge demonstrated during the ‘Heritage Tour’ conducted for the Governor and Professor Chalmers.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Cllr A E Bisdee OAM	✓	
Cllr D Blackwell	✓	
Cllr D F Fish	✓	
Cllr R McDougall	✓	
Cllr F Miller	✓	

15.1.2 Performing Residencies in Southern Midlands (PRISM) Project Plan and Policy

RECOMMENDATION

THAT:

- a) Council endorse the PRISM Project Plan;
- b) Council receive the proposed Policy for consideration; and
- c) The proposed Policy be brought to Council's October 2023 meeting for further consideration and endorsement.

DECISION

Moved by Clr R McDougall, seconded by Clr A E Bisdee

THAT

- a) Council endorse the PRISM Project Plan;
- b) Council receive the proposed Policy for consideration; and
- c) The proposed Policy be brought to Council's October 2023 meeting for further consideration and endorsement.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

15.2 Natural

Strategic Plan Reference – page 23/24

- | | |
|-------|---|
| 3.2.1 | Identify and protect areas that are of high conservation value. |
| 3.2.2 | Encourage the adoption of best practice land care techniques. |

15.2.1 NRM Unit – General Report

RECOMMENDATION

THAT the NRM Unit Report be received and the information noted.

DECISION

Moved by Deputy Mayor K Dudgeon, seconded by Clr R McDougall

THAT the NRM Unit Report be received and the information noted.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

15.3 Cultural

Strategic Plan Reference 3.3
Ensure that the cultural diversity of the Southern Midlands is maximised.

Nil.

15.4 Regulatory (Development)

Strategic Plan Reference 3.4
A regulatory environment that is supportive of and enables appropriate development.

Nil.

15.5 Regulatory (Public Health)

Strategic Plan Reference 3.5
Monitor and maintain a safe and healthy public environment.

Nil.

15.6 Regulatory (Animals)

Strategic Plan Reference 3.6
Create an environment where animals are treated with respect and do not create a nuisance for the community

15.6.1 Animal Management Report

RECOMMENDATION

THAT the Animal Management Report be received and the information noted.

DECISION

Moved by Clr A E Bisdee OAM, seconded by Deputy Mayor K Dudgeon

THAT the Animal Management Report be received and the information noted.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

15.7 Environmental Sustainability

Strategic Plan Reference 3.7

Implement strategies to address the issue of environmental sustainability in relation to its impact on Councils corporate functions and on the Community.

Nil.

16. OPERATIONAL MATTERS ARISING (STRATEGIC THEME – COMMUNITY)

16.1 Community Health and Wellbeing

Strategic Plan Reference 4.1

Support and improve the independence, health and wellbeing of the Community.

16.1.1 Southern Midlands Council – Community Small Grants Programme 2023

RECOMMENDATION

1. THAT the financial allocations for the Southern Midlands Council Community Small Grants Program 2023 to the following organisations be approved.

A. BAGDAD CRICKET CLUB	\$3,000.00
B. BAGDAD LADIES FRIENDSHIP GROUP	\$3,000.00
C. OATLANDS COMMUNITY ASSOCIATION INC.	\$2,947.00
D. REGENERATION	\$2,543.00
E. TUNNACK COMMUNITY CLUB INC.	\$3,000.00
F. TUNNACK VOLUNTEER FIRE BRIGADE	\$2,671.00

DECISION

Moved by Clr A E Bisdee OAM seconded by Clr D Blackwell

THAT the financial allocations for the Southern Midlands Council Community Small Grants Program 2023 to the following organisations be approved.

A. BAGDAD CRICKET CLUB	\$3000.00
B. BAGDAD LADIES FRIENDSHIP GROUP	\$3000.00
C. OATLANDS COMMUNITY ASSOCIATION INC	\$2947.00
D. REGENERATION	\$2543.00
E. TUNNACK COMMUNITY CLUB INC	\$3000.00
F. TUNNACK VOLUNTEER FIRE BRIGADE	\$2671.00

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

Mayor Edwin Batt declared an interest and left the meeting.

Deputy Mayor K Dudgeon took the chair.

2. THAT the financial allocations for the Southern Midlands Council Community Small Grants Program 2023 to the following organisation be approved.

G. Families Tasmania - \$2,450.00

DECISION

Moved by, Clr R McDougall, seconded by Clr A E Bisdee OAM

THAT the financial allocation for the Southern Midlands Council Community Small Grants Program 2023 to the following organisation be approved.

G Families Tasmania \$2450.00

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

Mayor Edwin Batt re-entered the meeting and took the chair.

Deputy Mayor Karen Dudgeon declared an interest and left the meeting

3. THAT the financial allocations for the Southern Midlands Council Community Small Grants Program 2023 to the following organisation be approved

H. Woodsdale Hall Committee - \$3,000.00

DECISION

Moved by, Clr R McDougall, seconded by Clr A D Blackwell

THAT the financial allocation for the Southern Midlands Council Community Small Grants Program 2023 to the following organisation be approved.

H Woodsdale Hall Committee \$3000.00

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

4. **THAT Council discuss the merits of allocating a grant amount (\$2,880) to the Oatlands Bowls Club, through their au spicing body, the Oatlands Ex-Services and Community Club Inc. via a financial allocation from the Southern Midlands Council Community Small Grants Program 2023.**

RECOMMENDATION

THAT Council discuss the merits of allocating a grant amount (\$2,880) to the Oatlands Bowls Club, through their au spicing body, the Oatlands Ex-Services and Community Club Inc. via a financial allocation from the Southern Midlands Council Community Small Grants Program 2023

DECISION

Moved by Clr D Blackwell, seconded by Clr A E Bisdee

THAT:

- a) **Council make a decision not to provide a grant to the Oatlands Bowls Club at this point of time;**
- b) **Council proceed to advertise for new applications under the Community Small Grants Program aimed at allocating the balance of funds available in this program; and**
- c) **The extension of the Community Small Grants Program be advertised via the Council Newsletter and Southern Midlands Community News. The aim is to have an application deadline by 30th November 2023.**

Note: Applications received to be considered through the same assessment process.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt		✓
Clr A E Bisdee OAM		✓
Clr D Blackwell		✓
Clr D F Fish		✓
Clr R McDougall		✓
Clr F Miller		✓

Deputy Mayor Karen Dudgeon re-entered the meeting.

16.2 Recreation

Strategic Plan Reference 4.2

Provide a range of recreational activities and services that meet the reasonable needs of the community.

16.2.1 Oatlands Aquatic Centre – Coordinators Report

RECOMMENDATION

THAT the information be received and noted.

DECISION

Moved by Clr R McDougall, seconded by Clr A E Bisdee OAM

THAT the information be received and noted.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

16.3 Access

Strategic Plan Reference 4.3

Continue to explore transport options for the Southern Midlands community / Continue to meet the requirements of the Disability Discrimination Act.

Nil.

16.4 Volunteers

Strategic Plan Reference 4.4

Encourage community members to volunteer.

Nil.

16.5 Families

Strategic Plan Reference 4.5

Ensure that appropriate childcare services as well as other family related services are facilitated within the community / Increase the retention of young people in the municipality / Improve the ability of seniors to stay in their communities.

Nil.

16.6 Education

Strategic Plan Reference 4.6

Increase the educational and employment opportunities available within the Southern Midlands

Nil.

16.7 Capacity & Sustainability

Strategic Plan Reference 4.7

Build, maintain and strengthen the capacity of the community to help itself whilst embracing social inclusion to achieve sustainability.

Nil.

16.8 Safety

Strategic Plan Reference 4.8

Increase the level of safety of the community and those visiting or passing through the municipality.

Nil.

16.9 Consultation & Communication

Strategic Plan Reference 4.8

Improve the effectiveness of consultation & communication with the community.

Nil.

17. OPERATIONAL MATTERS ARISING (STRATEGIC THEME – ORGANISATION)

17.1 Improvement

Strategic Plan Reference 5.1

Improve the level of responsiveness to Community & Developer needs / Improve communication within Council / Improve the accuracy, comprehensiveness and user friendliness of the Council asset management system / Increase the effectiveness, efficiency and use-ability of Council ICT systems / maintain the Business Process Improvement & Continuous Improvement framework

17.1.1 Review of Existing Policies – ‘Remote & Isolated Worker Policy’ and ‘Work Health & Safety Policy’

RECOMMENDATION

THAT Council adopt the Work Health & Safety Policy and Remote and Isolated Worker Policy.

DECISION

Moved by Clr D Blackwell, seconded by Clr A E Bisdee OAM

THAT Council adopt the Work Health & Safety Policy and remote Isolated Worker Policy.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

17.1.2 Review of Existing Policy - Fire Abatement Policy

RECOMMENDATION

THAT Council adopt Fire Abatement Policy

DECISION

Moved by Clr R McDougall, seconded by Deputy Mayor K Dudgeon

THAT Council adopt the Fire Abatement Policy

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

ENCLOSURES

Agenda Item 17.1.2

17.1.3 Review of Existing Policy – Goods and Services Purchasing Policy

RECOMMENDATION

THAT the ‘Goods and Services Purchasing Policy’ (as amended) be approved.

DECISION

Moved by Clr A E Bisdee OAM, seconded by Clr D Blackwell

THAT the ‘Goods and Services Purchasing Policy’ (as amended) be approved.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

17.1.4 Local Government Association of Tasmania – General Meeting (To be held 1st November 2023)

RECOMMENDATION

THAT Council consider its position in relation to each of the Motions submitted to the Local Government Association of Tasmania for consideration at its General Meeting to be held 1st November 2023.

DECISION

Moved by Clr A E Bisdee OAM, seconded by Deputy Mayor K Dudgeon

THAT, in relation to each of the proposed Motions:

- a) **Motion 1 – be at the discretion of the Mayor (based on the discussion at the General Meeting);**
- b) **Motion 2 – support**
- c) **Motion 3 – support; and**
- d) **Motion 4 – Council not be supportive of an extension of the 42 day timeframe, however Council seek to have the ‘statutory timeframe’ extended to provide for the ‘stop-clock’ to be applied for the period 20th December through to the 10th January (as suggested by the Manager Development & Environmental Services).**

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

17.2 Sustainability

Strategic Plan Reference 5.2

Retain corporate and operational knowledge within Council / Provide a safe and healthy working environment / Ensure that staff and elected members have the training and skills they need to undertake their roles / Increase the cost effectiveness of Council operations through resource sharing with other organisations / Continue to manage and improve the level of statutory compliance of Council operations / Ensure that suitably qualified and sufficient staff are available to meet the Communities need / Work co-operatively with State and Regional organisations / Minimise Councils exposure to risk / Ensure that exceptional customer service continues to be a hallmark of Southern Midlands Council

17.2.1 Tabling of Documents

Nil.

17.2.2 Elected Member Statements

An opportunity is provided for elected members to brief fellow Councillors on issues not requiring a decision.

Deputy Mayor K Dudgeon – Council to recognise the achievements of two young person's within the municipal area (i.e. excelling in sport):

- Ryan Green – selected in the Cricket Tasmania Hurricane Rookie Program Squad
- Mia Barwick - recently represented Tasmania in the School Sport Australia Under 15 Football Championships; won the Association Best & Fairest in the Under 14A Girls (playing for Claremont Bulldogs); and was awarded Best on Ground in the recent Grand Final.

Deputy Mayor K Dudgeon – Governor's Visit (Her Excellency B Baker AC and Professor Chalmers) – acknowledged the organisation of the event and a big thank you to Helen Geard and Sharon Holliday.

Clr D Fish – made comment regarding the forthcoming fire season which may be reduced to some extent by the lack of vegetation in farm paddocks.

17.3 Finances

Strategic Plan Reference 5.3

Community's finances will be managed responsibly to enhance the wellbeing of residents / Council will maintain community wealth to ensure that the wealth enjoyed by today's generation may also be enjoyed by tomorrow's generation / Council's financial position will be robust enough to recover from unanticipated events, and absorb the volatility inherent in revenues and expenses.

17.3.1 Monthly Financial Statement (Period ending 31 August 2023)

RECOMMENDATION

THAT the Financial Report be received and the information noted.

DECISION

Moved by Clr A E Bisdee, seconded by Deputy Mayor K Dudgeon

THAT the Financial Report be received and the information noted.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

18. MUNICIPAL SEAL

18.1 Department of Health (The Crown in Right of Tasmania) – Grant Deed – Accommodation Units (Locum General Practitioners; visiting Specialists and Medical Staff)

RECOMMENDATION

THAT:

1. The information be received;
2. That Council approve the Grant Deed for signing and sealing.

DECISION

Moved by Deputy Mayor K Dudgeon, seconded by Clr R McDougall

THAT:

1. The information be received; and
2. Council approve the Grant Deed for signing and sealing.
3. Council write to the Hon Jane Howlett MLC expressing appreciation for lobbying the State Government to secure the funds.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

19. CONSIDERATION OF SUPPLEMENTARY ITEMS TO THE AGENDA

19.1 New Southern Youth Detention Facility – 466 Brighton Road, Pontville

RECOMMENDATION

THAT in accordance with Regulation 15 of the *Local Government (Meeting Procedures) Regulations 2015*, the following items are to be dealt with in Closed Session.

Matter	Local Government (Meeting Procedures) Regulations 2015 Reference
<i>Closed Council Minutes - Confirmation</i>	15(2)(g)
<i>Applications for Leave of Absence</i>	15(2)(h)
<i>Human Resources - Briefing</i>	15(2)(a)
<i>Saint Regina Limited</i>	15(2)(g)

DECISION

Moved by Deputy Mayor K Dudgeon, seconded by CLR D Fish

THAT in accordance with Regulation 15 of the *Local Government (Meeting Procedures) Regulations 2015*, the following items are to be dealt with in Closed Session

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

RECOMMENDATION

THAT in accordance with Regulation 15(2) of the *Local Government (Meeting Procedures) Regulations 2015*, Council move into Closed Session and the meeting be closed to members of the public.

DECISION

Moved by Clr R McDougall, seconded by Clr A E Bisdee OAM

THAT in accordance with Regulation 15(2) of the *Local Government (Meeting Procedures) Regulations 2015*, Council move into Closed Session and the meeting be closed to members of the public.

CARRIED

DECISION (MUST BE BY ABSOLUTE MAJORITY)		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

CLOSED COUNCIL MINUTES

20. BUSINESS IN “CLOSED SESSION”

20.1 Closed Council Minutes - Confirmation

In accordance with the Local Government (Meeting Procedures) Regulations 2015, the details of the decision in respect to this item are to be kept confidential and are not to be communicated, reproduced or published unless authorised by Council.

Item considered in Closed Session in accordance with Regulation 15(2)(g) of the Local Government (Meeting Procedures) Regulations 2015.

20.2 Applications for Leave of Absence

In accordance with the Local Government (Meeting Procedures) Regulations 2015, the details of the decision in respect to this item are to be kept confidential and are not to be communicated, reproduced or published unless authorised by Council.

Item considered in Closed Session in accordance with Regulation 15(2)(g) of the Local Government (Meeting Procedures) Regulations 2015.

20.3 Human Resources – Briefing (Information Only)

In accordance with the Local Government (Meeting Procedures) Regulations 2015, the details of the decision in respect to this item are to be kept confidential and are not to be communicated, reproduced or published unless authorised by Council.

Item considered in Closed Session in accordance with Regulation 15(2)(g) of the Local Government (Meeting Procedures) Regulations 2015.

20.4 Saint Regina Limited – 2495 Colebrook Road, Colebrook – ‘Hardwick House’ (PID 3606737) – Application for Rates Exemption (Charitable Purposes)

In accordance with the Local Government (Meeting Procedures) Regulations 2015, the details of the decision in respect to this item are to be kept confidential and are not to be communicated, reproduced or published unless authorised by Council.

Item considered in Closed Session in accordance with Regulation 15(2)(g) of the Local Government (Meeting Procedures) Regulations 2015.

20.5 Update on Car Wreck Investigations / Compliance

*In accordance with the Local Government (Meeting Procedures) Regulations 2015, the details of the decision in respect to this item are to be kept confidential and are not to be communicated, reproduced or published unless authorised by Council.
Item considered in Closed Session in accordance with Regulation 15(2)(g) of the Local Government (Meeting Procedures) Regulations 2015.*

RECOMMENDATION

THAT Council move out of “Closed Session”.

DECISION

Moved by Clr A E Bisdee OAM, seconded by Deputy Mayor K Dudgeon

THAT Council move out of “Closed Session”.

CARRIED

DECISION		
Councillor	Vote FOR	Vote AGAINST
Mayor E Batt	✓	
Deputy Mayor K Dudgeon	✓	
Clr A E Bisdee OAM	✓	
Clr D Blackwell	✓	
Clr D F Fish	✓	
Clr R McDougall	✓	
Clr F Miller	✓	

OPEN COUNCIL MINUTES

21. CLOSURE

The meeting closed at 1.17 p.m.

Woodsdale Community Memorial Hall

Est. 1905

Minutes

FOR

Annual General Meeting

On

Monday 18th September 2023

ATTENDANCE:

Executive committee:

President; Mrs. Kaye Rowlands.
Vice president; Mrs Ann Scott
Secretary; Marion Wiggins
Treasurer: Sally Stubs

General Committee members: Mr Leon Scott, Ms Kate Bourne, Ms Alyson Scott, Mrs Allison Scott, Mrs Ann Wiggins

Council representative: Councillor Mrs Karen Dudgeon

Apologies: Mrs Ann Wiggins, Ms Alyson Scott, Mrs Allison Scott

Moved: Ms Kate Bourne

Seconded: Sally Stubs

That apologies be accepted.

Motion carried

Opening/Welcome:

Mrs. Kaye Rowlands declared the meeting open at 7.30 pm

Moved by Mrs Karen Dudgeon and seconded by Mr Leon Scott the minutes of the last AGM held on Monday 5th September 2022 be accepted as read and confirmed as a true and faithful record.

Motion carried

Auditors report.

Balance brought forward as at 1st July 2022

Bank balance	\$ 9335.29
Petty cash	30.30
Total from last account	\$ 9365.59

Receipts	\$3456.90
----------	-----------

\$ 12822.49

Payments	\$2302.17
----------	-----------

Closing balance as at 30th June 2023

\$10520.32

Represented by:

ANZ Bank Account

\$10484.12

Petty cash on hand

\$ 36.20

Balance to next account

\$10520.32

Moved by Mrs Ann Scott and **seconded by** Ms Kate Bourne that the Auditors report be accepted as read.

Motion carried

Presidents Report:

Mrs Kaye Rowlands presented the President's report for 2023. (copy given to committee members)

Moved by Ms Kate Bourne and **seconded by** Mrs Sally Stubs that the Presidents report be received.

Motion carried

The existing committee was dissolved, and all positions were declared vacant.

Councillor Mrs Karen Dudgeon thanked all the committee members on behalf of the Southern Midlands Council for their management of the hall and the excellent manner in which it is kept.

Election of Office Bearers.

Moved by Ms Kate Bourne and **seconded by** Mr Leon Scott that Mrs Kaye Rowlands be nominated for the position of **President:**

Mrs Kaye Rowlands accepted the nomination.

Elected unopposed

Moved by Mrs Kate Bourne and **seconded by** Mr Leon Scott that Mrs Ann Scott be nominated for the position of **Vice President:**

Mrs Ann Scott accepted the nomination.

Elected unopposed

Moved by Ms Kate Bourne and **seconded by** Mrs Sally Stubs that Mrs Marion Wiggins be nominated for the positions of **Secretary:**

Mrs Marion Wiggins accepted the nomination.

Elected unopposed

Moved by Ann Scott and **seconded by** Ms Kate Bourne that Sally Stubs be nominated for the position of **Treasurer:**

Mrs Sally Stubs accepted the nomination.

Elected unopposed

Moved by Mrs Marion Wiggins and **seconded** by Mrs Ann Scott that the following people be nominated for the position of **General Committee Members:**

Mr Leon Scott, Mrs Alyson Scott, Mrs Ann Wiggins, Mrs Allison Scott, Ms Kate Bourne

Motion carried

General business:

- Mrs Karen Dudgeon thanked the committee for the care taken with the upkeep of the hall.
- Mr Leon Scott thanked the council for their ongoing support during the last year.

Annual General Meeting Closed – 8.10 p.m.

AGM MINUTES



COMMUNITY SHED - OATLANDS MANAGEMENT COMMITTEE

Supported by
Community & Corporate Development

Attendance **TIME** **DATE** **LOCATION**
2.00 PM 9TH OCTOBER,
2022 **COUNCIL CHAMBERS,
OATLANDS**

MANAGEMENT COMMITTEE	Don Fish Karen Dudgeon Mary-Ann Orchard Eleanor Bjorksten Snr Sgt Mark Williams Ashley Cusick Graham Ford Penny Duggan Gillian Bailey David Norgrove Geoff Morgan	SMC Councillor SMC Councillor Hobart City Mission –Community Development Officer Rep – Oatlands Community Tas Police RAW Tas Coordinator Ladies Day Supervisor Ladies Day Supervisor Men’s Day Supervisor Men’s Day Supervisor
COMMITTEE OFFICERS	Wendy Young	Manager – Community & Corporate Development
INVITED GUEST(S)		
APOLOGIES	Clr Karen Dudgeon, Graham Ford & Mark Williams	

Welcome - Chairman

Agenda Items

ITEM	Previous Minutes	Attached File	
DISCUSSION	That the previous minutes of the AGM held on 26 th September, 2022 be confirmed as true and accurate record of the meeting		
DECISION	Moved by: Mary-Ann Orchard Seconded by: Eleanor Bjorksten CARRIED		
ACTION ITEMS	RESPONSIBILITY	TIME LINE	

ITEM	Chairperson’s Report	Attached File	
DISCUSSION	Clr Don Fish to provide report		
DECISION	That the Chairman’s Report be received Moved by: Eleanor Bjorksten		

AGM MINUTES

COMMUNITY SHED - OATLANDS MANAGEMENT COMMITTEE

Supported by
Community & Corporate Development

	Seconded by: Geoff Morgan		
	CARRIED		
ACTION ITEMS	RESPONSIBILITY	TIME LINE	

ITEM	Treasurer's Report	Attached File	
DISCUSSION	Financial Statement tabled		
DECISION	That the Financial Statement be received		
	Moved by: Geoff Morgan Seconded by: David Norgrove		
	CARRIED		
ACTION ITEMS	RESPONSIBILITY	TIME LINE	

ITEM	Election of Office Bearers	Attached File	
DISCUSSION	<p>Clr Don Fish will declare all positions vacant.</p> <p>Vice-Chairperson: Nominations for this position called</p> <p>Gillian Bailey nominated by Penny Duggan and seconded by Mary-Ann Orchard</p> <p>Secretary/Treasurer: Penny Duggan nominated by Mary-Ann Orchard and seconded by Eleanor Bjorksten</p> <p>Nominations for this position called</p> <p>Nomination for these positions called (4) other members</p> <p>The following were nominated Eleanor Bjorksten, Mary-Ann Orchard, Mark Williams & Ashley Cusick</p>		

AGM MINUTES

COMMUNITY SHED - OATLANDS MANAGEMENT COMMITTEE

Supported by
Community & Corporate Development

DECISION	That the above members are duly appointed		
	Moved by: Geoff Morgan Seconded by: David Norgrove		
ACTION ITEMS	RESPONSIBILITY	TIME LINE	

ITEM	Other Business	Attached File	
DISCUSSION	Mental Health First Aid		
DECISION	Geoff Morgan provided information on Mental Health First Aid. Mary-Ann Orchard advised that once they are in their new premises they will be providing free Mental Health First Aid to community members		
	That the information be received.		
ACTION ITEMS	RESPONSIBILITY	TIME LINE	

ITEM		Attached File	
DISCUSSION	Public Liability Insurance		
DECISION	Geoff Morgan asked about whether volunteers were covered under the Men's Shed Insurance or Council. It was advised that whilst the shed is affiliated with the Men's shed, the shed is run under Council's umbrella. New members are required to undertake an induction and complete the volunteer registration form. Forms are to be given to Wendy for filing.		
ACTION ITEMS	RESPONSIBILITY	TIME LINE	

ITEM		Attached File	
DISCUSSION	RAW		
DECISION	Ashley Cusick provided that the new outreach worker for Southern Midlands is Ally		

AGM MINUTES



COMMUNITY SHED - OATLANDS MANAGEMENT COMMITTEE

Supported by
Community & Corporate Development

Cornish and Ashley's role will be the Southern Tas Community Engagement Officer		
ACTION ITEMS	RESPONSIBILITY	TIME LINE

ITEM		Attached File	
DISCUSSION	Facebook Sales		
DECISION	Eleanor Bjorksten queried the processing for putting items on the Community Shed Facebook page. Mary-Ann advised that photos could be sent to her as she has authorisation to put items up for sale.		
ACTION ITEMS	RESPONSIBILITY	TIME LINE	

ITEM		Attached File	
DISCUSSION			
DECISION			
ACTION ITEMS	RESPONSIBILITY	TIME LINE	

NEXT MEETING: Next Annual General Meeting to be held in accordance with Appendix A (1) – that is, before September 30, 2024

Close: 2.34 pm

Distribution of Agenda:

Members

Woodsdale Community Memorial Hall

Est. 1905

General Committee Meeting

Monday 18th September 2023

Woodsdale Hall

Welcome/Opening:

- The President welcomes members and declares the meeting open at 8.10

Attendance:

Mrs Kaye Rowlands, Mrs Sally Stubs, Mrs Ann Scott, Mr Leon Scott, Mrs Marion Wiggins,
Mrs Karen Dudgeon

Apologies:

Mrs Allison Scott, Mrs Ann Wiggins, Ms Alyson Scott

Moved: Mrs Sally Stubs

Seconded: Ms Kate Bourne

Motion Carried

Confirmation of Minutes for the last meeting – July 24th, 2023

Moved: Mr Leon Scott

Seconded: Mrs Ann Scott

Motion Carried

Financial Report: Balance as of September 18th 2023

\$10 173.93

Waiting for receipts for reimbursement from the dinner – committee members to organise personal reimbursements through Sally.

Moved: Ms Kate Bourne

Seconded: Mr Leon Scott

Motion Carried

General Business:

- Defibrillator has been installed. Advertised on community page. Marion to organise poster for noticeboards in area - Levensdale, Woodsdale, Woodsdale Museum, Fire brigade.
- Training night at the hall for community member on the defibrillator on Monday October 9th at 7pm.
- Application submitted for grant through Southern Midlands Community Small grants scheme will be allocated next week. Thanks to Mrs Karen Dudgeon for her assistance in helping Marion to submit the application.
- Dinner was a big success even with the power issues. Marion has emailed Alyson to see how many people were to be invoiced for the night and will pass this on when she gets the information.
- Committee has been approached by Christine Fisher to provide morning tea for Shirley Wiggins memorial service. Payment will be a donation to the hall.
- Investigate possible gas cooking options in the future – prices to be investigated.
- Find out whether there are any other Xmas events on in the area and report back next meeting.
- John X evening on November 11 to be discussed next time – hall to cater for supper.
- Phone tower is being investigated for the area.

Bookings:

- Hairdresser – October 1

Meeting Closed at 8.30

NEXT MEETING – October 9th 7.30 p.m.

Woodsdale Community Memorial Hall

Est. 1905

General Committee Meeting

Monday 9th October 2023

Woodsdale Hall

Welcome/Opening:

- The President welcomes members and declares the meeting open at

Attendance:

Mrs Kaye Rowlands, Mrs Ann Scott, Mr Leon Scott, Mrs Karen Dudgeon, Ms Alyson Scott, Mrs Ann Wiggins, Ms Kate Bourne

Apologies:

Mrs Marion Wiggins, Mrs Sally Stubs, Mrs Allison Scott

Moved: Ms Kate Bourne

Seconded: Ms Alyson Scott

Motion Carried

Confirmation of Minutes for the last meeting – September 18 , 2023

Moved: Mr Leon Scott

Seconded: Mrs Ann Scott

Motion Carried

Financial Report: Opening Balance 11/7/23

\$10626.10

Balance 24/9/23

\$ 9694.54

Kaye has \$30 from Natalie for Hall hire and money from purchased goods from dinner. Will pass on to Sally next meeting.

Moved: Ms Kate Bourne

Seconded: Mrs Ann Scott

Motion Carried

Correspondence:

**Attachment
Agenda Item 5.2.1**

- Correspondence received from Southern Midlands Council to confirm the \$3000 grant received on 10th October. A purchase order was issued for Stuart Wilson to begin painting.
- Alyson has sent an email from the Football club thanking the hall for catering under such difficult circumstances for the dinner.

Moved: Mrs Ann Scott

seconded: Mr Leon Scott

Motion Carried

General Business:

- 64 people attended the WFC dinner. Kaye to invoice for catering.
- Defibrillator training cancelled. New date to be organised and advertised. Light not quite right – Alyson to follow up.
- Christmas Party – December 9th – discuss food at next meeting.
- John X – November 11 – 6pm start with show at 8pm. Hall to cater for supper with pies, sausage rolls, sandwiches etc. Discussion to be held at next meeting. \$45 for show includes supper – price per person not set.
- Shirley's morning tea was beautiful. Thanks to all who cooked. Christine to drop a donation in this weekend.
- Leon donated \$20 toward food – Marion purchased dip, biscuits and fruit for a platter.
- Stuart Wilson contacted Ann re painting the hall. This will start in October. Kaye and Ann to choose colours (in daylight).
- Hall meeting times will be 7pm from now.

Moved Mrs Ann Scott and Seconded Ms Kate Bourne that we approach Coles at Sorell to help with donations towards food for functions.

Motion Carried

Bookings:

- Hairdresser returns November 12th
- Nutrimerics function at Hall on October 28th

Meeting Closed at 8.20 p.m.

NEXT MEETING – November 6th at 7pm



Campania Recreation Ground Management Committee

Tuesday, 19th September at 6.30 p.m
Campania Recreation Ground

COMMITTEE MEMBERS:

Council Representatives:	Mayor, Edwin Batt General Manager, Tim Kirkwood Manager Community & Corporate Development, Wendy Young
Campania Cricket Club:	Ben Sinitt Simon Tapp
Campania Football Club:	President, Steven Denny Jeff Beven Sam Medhurst Joe Chivers
Campania District School:	Principal, Angela Burbury
Campania Community:	Jarrold Beven Robin Howlett

1. PRESENT:

Mayor Edwin Batt, Wendy Young, Danny Knott, Simon Tapp, Jeff Beven, and Joe Chivers

2. APOLOGIES:

Ben Sinnitt, Jarrod Beven, Tim Kirkwood, Steven Denny & Robin Howlett

3. CONFIRMATION OF MINUTES:

Minutes of the previous meeting held Tuesday 20th June, 2023 (attached) are submitted for confirmation.

RECOMMENDATION

THAT the Minutes of the Meeting held 20th June, 2023 be confirmed as a true and correct record of proceedings.

Confirmed

4. BUSINESS ARISING FROM THE MINUTES:

General review of issues contained within the Minutes with outstanding items discussed below.

4.1 Ground Lights

Jarrold has forwarded two contacts – RBD Electrical and Contact Electrical. Wendy to organise quote.

4.2 Cricket Pitch Replacement

The new cricket pitch has been installed awaiting the synthetic turf to arrive. Should be finished by the end of the month.

5. NEW BUSINESS:

5.1 Bookings

Wendy to be included in email bookings in relation to the ground.

5.2 Other Business

New Campania Community Group, has invited participates to join. It was noted that the members would like to be involved in discussions that relate to the Campania Recreation Ground.

7. NEXT MEETING:

Next meeting date to be held on the 23rd January, 2024 at 6.30 pm.

8. CLOSURE:

The Meeting closed at 6.55 pm



Public Notice Details

Planning Application Details

Application No	DA SA2200005
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Property Details

Property Location	14 Queen Anne St Oatlands
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Application Information

Application Type	Discretionary Development Application
Development Category	14 Lots & Balance
Advertising Commencement Date	14/08/2023
Advertising Closing Period	28/08/2023
<small>If the Council Offices are closed during normal office hours within the above period, the period for making representations is extended.</small>	

Enquiries regarding this Application can be made via to Southern Midlands Council on (03) 6254 5050 or by emailing planningenquires@southernmidlands.tas.gov.au. Please quote the development application number when making your enquiry.

Representations on this application may be made to the General Manager in writing either by

Post: PO Box 21, Oatlands Tas 7120
Email: mail@southernmidlands.tas.gov.au
Fax: 03 6254 5014

All representations must include the authors full name, contact number and postal address and be received by the advertising closing date.



APPLICATION FOR PLANNING PERMIT – USE AND DEVELOPMENT Subdivision Development

Use this form to apply for planning approval in accordance with section 57 and 58 of the *Land Use Planning and Approvals Act 1993*

Applicant / Owner Details:

Owner / s Name	Cartney ZEM Pty Ltd atf Four Oaks Superannuation Fund			
Postal Address	110 High Street	Phone No:	0413 299193	
	Oatlands	7120	Fax No:	
Email address	rick@rickmandelson.com.au			

Applicant Name (if not owner)	Richard Bruce Mandelson – Director / Trustee			
Postal Address	110 High Street	Phone No:	0413 299193	
	Oatlands	7120	Fax No:	
Email address:	rick@rickmandelson.com.au			

Description of proposed use and/or development:

Address of new use and development:	14 Queen Anne Street Oatlands TAS 7120		
Certificate of Title details	Prop ID Number 2538947, Title Ref. 141879/1		
Description of proposed use or development:	Sub divide into 14 blocks, we plan to do a staged development		
Current use of land and buildings for each title:	vacant land		

E.g. are there any existing buildings on these titles?
If yes, what are the main buildings used as?

Is the property Heritage Listed: Please tick ✓ answer

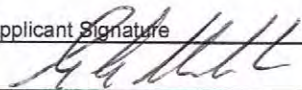
<input type="checkbox"/> Yes	<input type="checkbox"/>	<input type="checkbox"/> No	<input checked="" type="checkbox"/> X
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Please attach any additional information that may be required by Part 8.1 Application Requirements of the Planning Scheme.

Signed Declaration

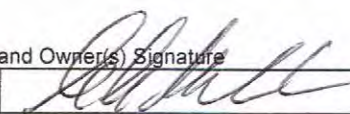
I/we hereby apply for a planning approval to carry out the use or development described in this application and in the accompanying plans and documents, accordingly I declare that:

1. The information given is a true and accurate representation of the proposed development. I understand that the information and materials provided with this development application may be made available to the public. I understand that the Council may make such copies of the information and materials as, in its opinion, are necessary to facilitate a thorough consideration of the Development Application. I have obtained the relevant permission of the copyright owner for the communication and reproduction of the plans accompanying the development application, for the purposes of assessment of that application. I indemnify the Southern Midlands Council for any claim or action taken against it in respect of breach of copyright in respect of any of the information or material provided.
2. I am the applicant for the planning permit and I have notified the owner/s of the land in writing of the intention to make this application in accordance with Section 52(1) of the *Land Use Planning Approvals Act 1993* (or the land owner has signed this form in the box below in "Land Owner(s) signature);

Applicant Signature 	Applicant Name (print) RICHARD BRUCE MANDELSON	Date 04 MAR 22
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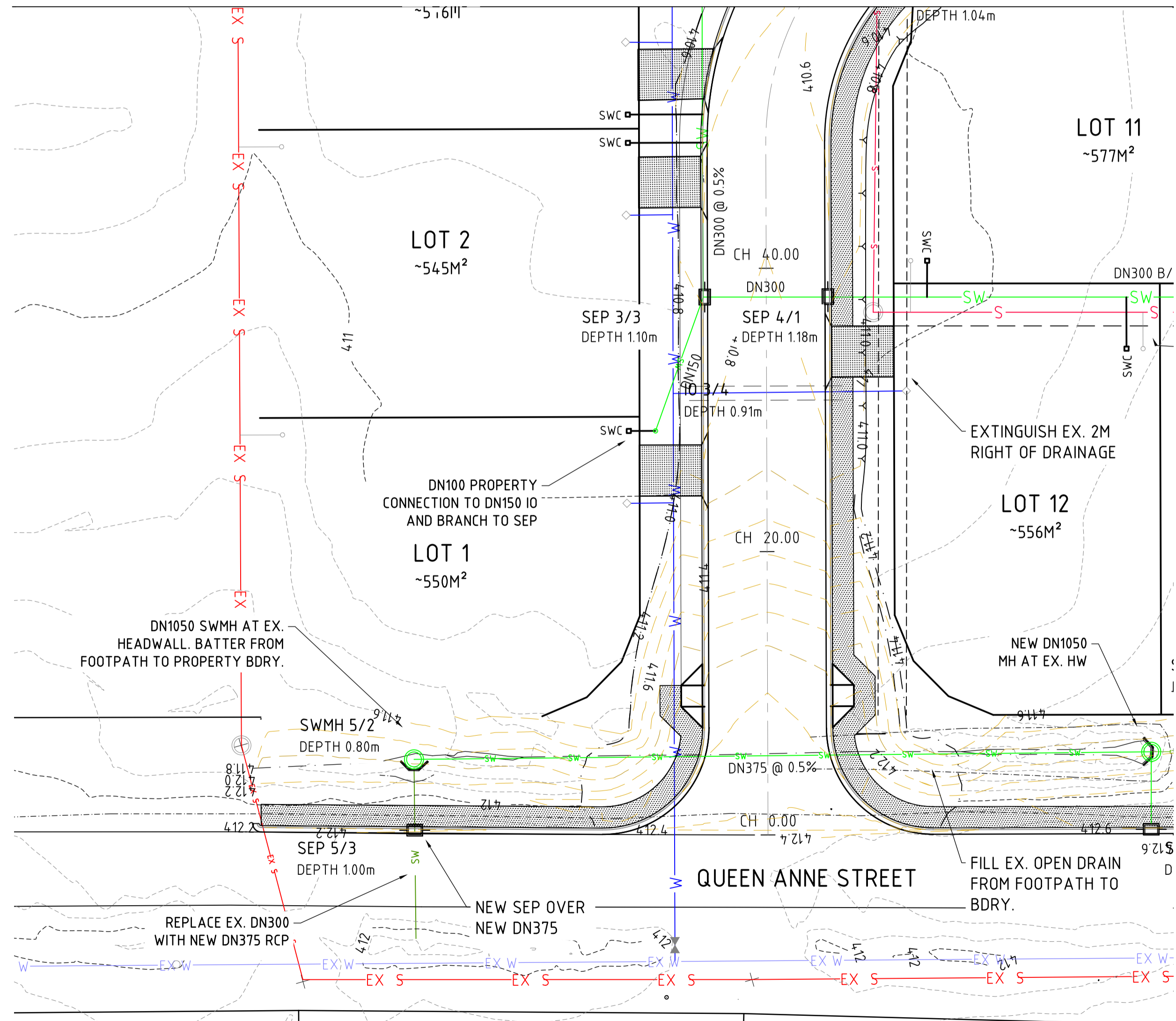
Applicant Signature	Applicant Name (print)	Date
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or

Land Owner(s) Signature 	Land Owners Name (please print) RICHARD BRUCE MANDELSON	Date 04 MAR 22
--	--	-------------------

Land Owner(s) Signature	Land Owners Name (please print)	Date 0
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26.07.23



REV	DESCRIPTION	DRN	CHK	APP.	DATE
D	ISSUED FOR DA - STORMWATER CONNECTION TO GLENELG ST	GA	GA	VB	25.07.23
C	ISSUED FOR DA - EX. DN300 QUEEN ANNE ST CROSSING UPGRADE TO DN375	GA	GA	VB	28.09.22
B	ISSUED FOR DA - CUL-DE-SAC AT GLENELG ST, QUEEN ANNE ST FOOTPATH & KERB	GA	GA	VB	01.09.22
A	ISSUED FOR DA	GA	GA	VB	04.03.22

DRAWING CHECK	
SIGNATURE	DATE
DRAWN GA	10.01.22
DESIGNED GA	04.02.22
CHECKED	
CLIENT	

DO NOT SCALE THIS DRAWING. Use the dimensions shown. All dimensions and setout should be checked on site. Drawing is to be read in conjunction with the associated notes and specifications. Drawing is to be read in conjunction with all other engineering and architectural drawings. These designs, drawings and specifications are copyright © and must not be altered, reproduced or copied wholly or in any part without the written permission of NTCADS. All rights reserved.

PREPARED BY
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TAS. ACCREDITED
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a: 21 DIGNEY S

Peter Coney; Grad Dip Env Planning
Peter.Coney@outlook.com

14 Queen Anne Street, Oatlands

Mr Vincent Butler
By Email: v_butler88@hotmail.com

Dear Vince,

Please see below an assessment of the proposed subdivision of land at 14 Queen Anne Street, Oatlands. I have done this with specific regard for the provisions of the General Residential Zone, as requested by Southern Midlands Council, 22 March 2022.

In short, the proposal demonstrates compliance with each of the applicable standards of the General Residential Zone.

Further, it is evident the driveways are located with sufficient developable area, and are able to be drained to meet the provisions of E5.0 Road and Railway Assets Code, E6.0 Parking and Access Code, and E7.0 Stormwater Management Code.

As such I would expect a conditional permit can be granted.



Proposal

The proposal is for a 14 lot subdivision inclusive of road and appurtenant services, to provide for residential allotments. Each lot has a sufficient building area available to it, which is conducive to compliant dwelling development.

Of relevance to cl 8.10.2 of the Southern Midlands Interim Planning Scheme 2015 (the Scheme), the proposal fulfils the relevant purpose of the General Residential Zone, which is to provide for residential use or development that accommodates a range of dwelling types at suburban densities where full infrastructure services are available, or can be provided.



Site and Locality

The site is a 1.01ha allotment in Oatlands fronting Queen Anne Street. This area is zoned General Residential, and represents the southern expansion of the town, otherwise bound to the north and west by the Midland Highway, east by Lake Dulverton, and south by land set aside for the municipality's industrial estate.

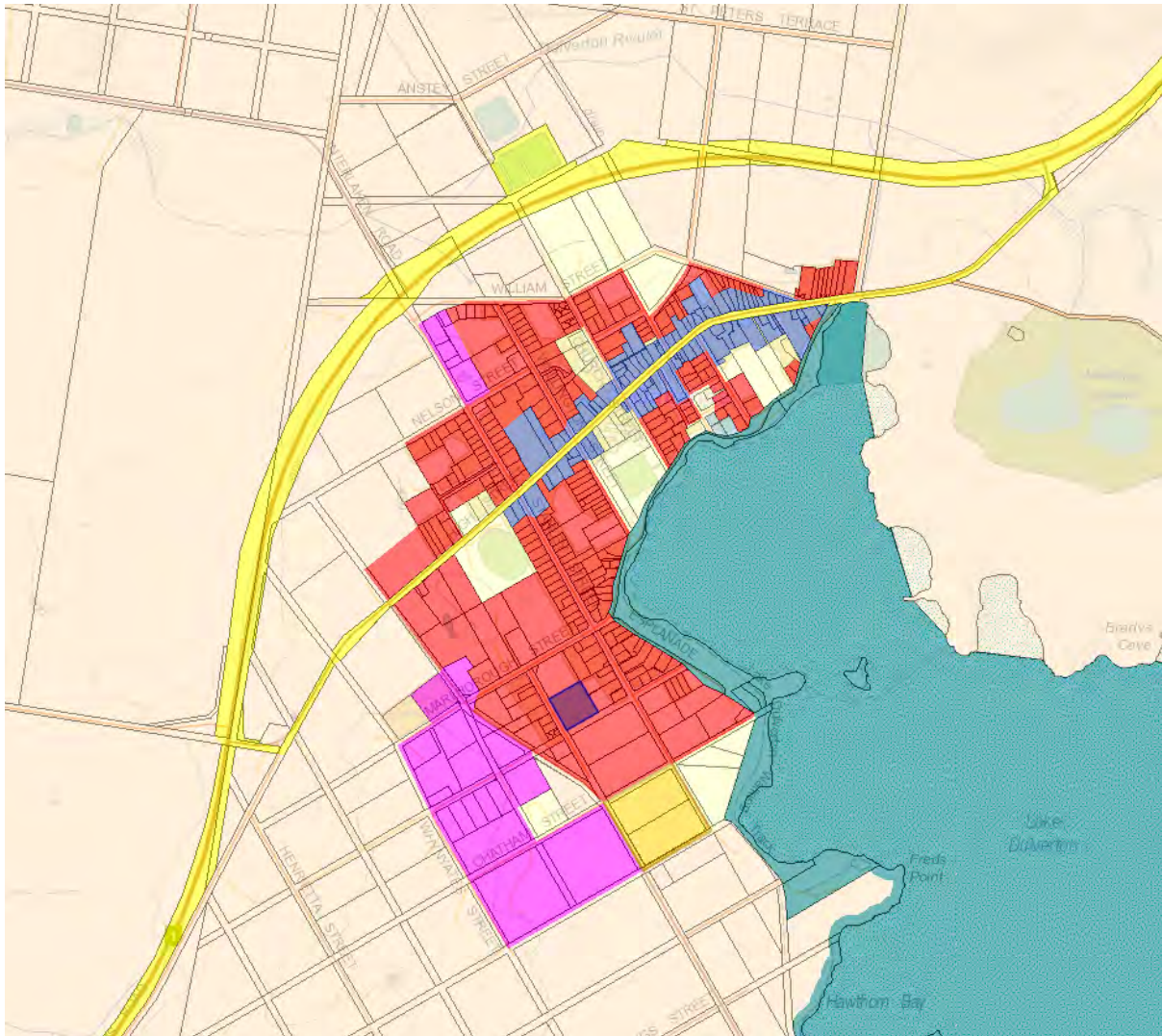


Figure 1. Site (blue) with respect to Oatlands and the application of zones (LISTmap).





Figure 2. Site and immediate surrounds (LISTmap).



Applicable Standards

Specifically, the proposal demonstrates compliance as follows:

10.6 General Residential Zone (GRZ) – Subdivision;

10.6.1 Lot Design (A1) **Complies**

Comment

Noting no lot is within an applicable distance to a school (approx. 700m away), public transport corridor (Redline route approx. 500m), or public open space; the maximum lot size is 1000m².

For a corner lot, the minimum lot size is 550m², whereas for an ordinary lot, it is 450m². In assigning lot types, it is considered that the unmade section of Glenelg Street does not qualify with the definition of a road within the Scheme, and as such these lots ought to be considered as ordinary lots. Therefore only lots 1, 11 and 12 are corner lots.

The compliance of lot sizes in accordance with Table 10.1 is set out below.

Lot Number	Minimum Lot Size	Proposed	Lot Number	Minimum Lot Size	Proposed
1	550m ²	550m ²	8	450m ²	580m ²
2	450m ²	545m ²	9	450m ²	531m ²
3	450m ²	546m ²	10	450m ²	531m ²
4	450m ²	529m ²	11	550m ²	577m ²
5	450m ²	634m ²	12	550m ²	556m ²
6	450m ²	549m ²	13	450m ²	556m ²
7	450m ²	580m ²	14	450m ²	556m ²

Figure 3. Minimum lot size per Table 10.1 of the Scheme.



10.6.1 Lot Design (P2) **Complies**

Comment

The Acceptable Solution of the standard requires each lot be sufficient to contain a building area which complies with the following:

- (a) *clear of the frontage, side and rear boundary setbacks;*
- (b) *not subject to any codes in this planning scheme;*
- (c) *clear of title restrictions such as easements and restrictive covenants;*
- (d) *has an average slope of no more than 1 in 5;*
- (e) *the long axis of the building area faces north or within 20 degrees west or 30 degrees east of north;*
- (f) *is 10m x 15m in size.*

Compliance with each criterion of the Acceptable solution is set out below at Figure 4. Broadly, owing to the orientation of the north west boundary of the block, a 15m long axis for a building area parallel would be approximately 30° west of north for lots 2 -14.

Though it is feasible a 10 x 15 m² area could with an irregular arrangement provide orientation closer to true north, practical dwelling design may be impeded for little gain. Therefore, a discretionary consideration of lot arrangement for lots 2-14 is sought, where building areas are proposed to be parallel to the boundaries. Only for lot 1, is it considered preferable that the long axis be sited perpendicular to north, and this is feasible owing to the lot size.

Specifically, the performance criteria of the standard require;

The design of each lot must contain a building area able to satisfy all of the following:

- (a) *be reasonably capable of accommodating residential use and development;*
- (b) *meets any applicable standards in codes in this planning scheme;*
- (c) *enables future development to achieve maximum solar access, given the slope and aspect of the land;*
- (d) *minimises the need for earth works, retaining walls, and fill and excavation associated with future development;*
- (e) *provides for sufficient useable area on the lot for both of the following:*
 - (i) *on-site parking and manoeuvring;*
 - (ii) *adequate private open space.*



For (a) and (c), a minor 10° variation from the ideal true north orientation is of negligible consequence when regard is had for contemporary building design, which predominately tends to open plan. Generally, the lot layout as proposed makes it entirely feasible that an open plan dwelling with windows parallel to the proposed boundaries will provide adequate access to light within habitable spaces other than bedrooms. The land also is relatively flat and unencumbered by vegetation or undulations preventing access to light irrespective of siting.

For (b), the site is unencumbered by code applying overlays, and is of sufficient size to comply with E6.0 Parking and access, as well as E7.0 Stormwater Drainage and Disposal.

For (d), the site is relatively flat, falling to the north east; and

For (e), see (b).

With regard for the above, it is considered that the proposal demonstrates an arrangement conducive to a high degree of residential amenity, and furthers the purpose of the zone, to provide for an efficient utilisation of developable land.

It is considered the proposal complies.



Lot Number	(a)	(b)	(c)	(d)	(e)	(f)
1	Y	Y	Y	Y	Y	Y
2	Y	Y	Y	Y	N	Y
3	Y	Y	Y	Y	N	Y
4	Y	Y	Y	Y	N	Y
5	Y	Y	Y	Y	N	Y
6	Y	Y	Y	Y	N	Y
7	Y	Y	Y	Y	N	Y
8	Y	Y	Y	Y	N	Y
9	Y	Y	Y	Y	N	Y
10	Y	Y	Y	Y	N	Y
11	Y	Y	Y	Y	N	Y
12	Y	Y	Y	Y	N	Y
13	Y	Y	Y	Y	N	Y
14	Y	Y	Y	Y	N	Y

Figure 4. Table of compliance with criteria of Acceptable Solution for 10.6.1 (A2).



10.6.1 Lot Design (P3) **Complies**

Comment

The compliance of each lot with the Table 10.2 is set out below. For corner lots, it is considered that the distinction between higher order and lower order roads is imprecise, though reasonably they may relate to the road class per the transport class of the road centrelines layer of LIST. On this, Queen Anne Street is classed as a Local Road, and the proposed road as part of the subdivision similarly will be a Local Road. There is then no hierarchy established between these roads. The allocation of frontage is considered then with regard to optimised solar access (shown as a bearing in parentheses).

Lot Number	Minimum Frontage	Proposed	Lot Number	Minimum Frontage	Proposed
1	15m	14m (SE)	8	15m	18.2m
2	15m	20m	9	15m	16m
3	15m	16m	10	15m	16m
4	15m	6m	11	15m	13.9 (NW)
5	15m	6m	12	15m	11.9 (SW)
6	15m	8.4m	13	15m	18.3m
7	15m	18.2m	14	15m	18.3m *

Figure 5. Demonstrating compliance with Table 10.2 of the Scheme, where green meets the Acceptable Solution and amber does not.

Note for Lot 14 the truncations for Glenelg Street are not necessary thus increasing the frontage to 18.3.

The proposal is therefore reliant on the performance criteria which require;

The frontage of each lot must satisfy all of the following:

- (a) *provides opportunity for practical and safe vehicular and pedestrian access;*



- (b) *provides opportunity for passive surveillance between residential development on the lot and the public road;*
- (c) *is no less than 6m.*

For (a), the proposed accesses are entirely useable, and are considered to have a negligible effect on traffic flows within the road network, owing to the low likely number of vehicle movements in the proposed road.

Specifically for lot 11, siting the access at the secondary frontage affords better sight lines than if the accesses were sited at the primary frontage.

For (b), frontage fence design being traditionally lower, and with a higher degree of transparency will afford mutual surveillance between the road and access. Further, the separation of the road edge to the boundary of lots 4, 5, and 6 increases the distance for a vehicle to travel before entering the road, thereby negating the impact of a sub 15m frontage with respect to visibility.

It is considered the proposal complies.

8.6.1 Lot Design (A4) **Complies**

Comment

No lot is an internal lot.



8.6.1 Lot Design (P5) **Complies**

Comment

The proposal is for 14 lots, and therefore is reliant on the performance criteria, which require;

Arrangement and provision of lots must satisfy all of the following;

- (a) have regard to providing a higher net density of dwellings along;*
 - (i) public transport corridors;*
 - (ii) adjoining or opposite public open space, except where the public open space presents a hazard risk such as bushfire;*
 - (iii) within 200 m of business zones and local shops;*
- (b) will not compromise the future subdivision of the entirety of the parent lot to the densities envisaged for the zone;*
- (c) staging, if any, provides for the efficient and ordered provision of new infrastructure;*
- (d) opportunity is optimised for passive surveillance between future residential development on the lots and public spaces;*
- (e) is consistent with any applicable Local Area Objectives or Desired Future.*

With regard for (a) it is evident in demonstrating compliance with the other requirements of the standard that no sub criteria are applicable, nor is it suitable for a higher net density in any event, owing to the layout providing a high degree of residential amenity to satisfy (P2), and consistency with the surrounds of Oatlands which is not a new suburb (per (e) of the objective).

For (b) the entirety of the parent lot is proposed to be subdivided.

For (c), at present no staging is proposed.

For (d), passive surveillance between residential development and the proposed road (as a public space) is entirely feasible.

For (e), there are no applicable Local Area Objectives or Desired Future Character Statements.

It is considered the proposal complies.



8.6.2 Roads (PI) **Complies**

Comment

The proposal includes a new road, and is therefore reliant on the performance criteria which require;

The arrangement and construction of roads within a subdivision must satisfy all of the following:

- (a) the route and standard of roads accords with any relevant road network plan adopted by the Planning Authority;*
- (b) the appropriate and reasonable future subdivision of the entirety of any balance lot is not compromised;*
- (c) the future subdivision of any neighbouring or nearby land with subdivision potential is facilitated through the provision of connector roads and pedestrian paths, where appropriate, to common boundaries;*
- (d) an acceptable level of access, safety, convenience and legibility is provided through a consistent road function hierarchy;*
- (e) cul-de-sac and other terminated roads are not created, or their use in road layout design is kept to an absolute minimum;*
- (f) connectivity with the neighbourhood road network is maximised;*
- (g) the travel distance between key destinations such as shops and services is minimised;*
- (h) walking, cycling and the efficient movement of public transport is facilitated;*
- (i) provision is made for bicycle infrastructure on new arterial and collector roads in accordance with Austroads Guide to Road Design Part 6A;*
- (j) any adjacent existing grid pattern of streets is extended, where there are no significant topographical constraints.*

For (a), it is proposed that the road be constructed in accordance with the LGAT Standard drawings. No network plan for the area is available.

(b), Is not relevant.

For (c), the future subdivision of folio of the Register 115855/83 is entirely feasible irrespective of the subject site including a road which terminates with a cul de sac. The formation of Glenelg Street may as an unnecessary cost be avoided by cul de sacs, noting the modest lot yield for both sites, negating the need for multiple through roads.



For (d), noting the above, the proposed road presents a logical step to higher density development in the area.

For (e), the proposal is, noting the modest lot yield, sufficiently serviceable by a cul de sac which in this instance presents short access to Queen Anne Street without risk of through traffic. A through road connecting to fR115855/83 would be excessive noting the need to form either the whole of Glenelg Street, or even a further portion, when equally that lot could be serviced by a new road with a junction at Queen Anne Street, or Stanley Street.

For (f), the subdivision plan facilitates further extension of the road network noting ZGlenelg Street is unmade, and no network plan is available.

For (g), the layout is efficient with respect to civic amenities, services and shops

For (h), the proposal does not preclude walking, cycling or public transport, and it is intended to contribute to the pedestrian network as part of the road design.

(i), is not relevant

For (j), the site is within an existing grid pattern, and this is somewhat extended by the complementary 90° cul de sac formation.

It is considered the proposal complies.



10.6.3 Ways and Public Open Space (PI) **Complies**

Comment

There is no acceptable solution for this standard. The proposal is therefore reliant on the performance criteria which require;

The arrangement of ways and public open space within a subdivision must satisfy all of the following:

- (a) connections with any adjoining ways are provided through the provision of ways to the common boundary, as appropriate;*
- (b) connections with any neighbouring land with subdivision potential is provided through the provision of ways to the common boundary, as appropriate;*
- (c) connections with the neighbourhood road network are provided through the provision of ways to those roads, as appropriate;*
- (d) convenient access to local shops, community facilities, public open space and public transport routes is provided;*
- (e) new ways are designed so that adequate passive surveillance will be provided from development on neighbouring land and public roads as appropriate;*
- (f) provides for a legible movement network;*
 - (g) the route of new ways has regard to any pedestrian & cycle way or public open space plan adopted by the Planning Authority;*
 - (h) Public Open Space must be provided as land or cash in lieu, in accordance with the relevant Council policy.*
 - (i) new ways or extensions to existing ways must be designed to minimise opportunities for entrapment or other criminal behaviour including, but not limited to, having regard to the following:*
 - (i) the width of the way;*
 - (ii) the length of the way;*
 - (iii) landscaping within the way;*
 - (iv) lighting;*
 - (v) provision of opportunities for 'loitering';*
 - (vi) the shape of the way (avoiding bends, corners or other opportunities for concealment).*



An amended site plan has been prepared which provides for connections (both pedestrian and vehicle) with the broader road network. This network facilitates access to businesses and amenities. To infill and connect to this is considered sufficient to satisfy the appropriate performance criteria. It is noted there is no policy regarding the strategic provision of footpaths in Oatlands publicly available. The road layout and location of the subject site are considered restrictive to the provision of an accessway in addition to the roads.

It is understood that a requirement for the payment of cash in lieu of the provision of public open space will be made pursuant to Council policy and section 117 of the *Local Government (Building and Miscellaneous Provisions) Act 1993*.

It is considered the proposal complies.

10.6.4 Services (A1) (A2) (A3) (P4) **Complies**

Comment

Indicative services plan show all lots are serviceable with potable water (A1), reticulated sewerage (A2), and stormwater management, subject to provision of mains infrastructure (A3).

With respect to (A4), the proposal includes a new road, and as such is reliant on the performance criteria which require;

The subdivision provides for the installation of fibre ready facilities (pit and pipe that can hold optical fibre line) and the underground provision of electricity supply.

The proposed road is of sufficient reserve width to provide fibre optic pits and the like, as well as underground electricity supply.

It is noted there is presently no fibre service or optical fibre connections for the NBN in Oatlands.

It is considered the proposal complies.



Conclusion

As identified above, the proposal complies with each of the applicable standards of the relevant standards for the General Residential Zone.

It is my understanding a Stormwater Management Report has been requested and will suitably address the provisions of E7.0 Stormwater Management Code.

With regard for the relevant sections of Part 3 of the *Local Government (Building and Miscellaneous Provisions) Act 1993* (LGBMP), it is considered the subdivision should be approved by Council, and relevant conditions will be imposed for the provision of easements, and for a payment instead of the provision of public open space, in accordance with Council policy and section 117 of the LGBMP Act.



Regards, Peter.



01.08.2023

TO:	Southern Midlands Council	PAGE:	1 of 8
ATTENTION:	Louisa Brown – Planning Officer	DATE:	28.09.2022
PROJECT:	14 Queen Anne St Oatlands – 14 lot subdivision	PROJECT #:	332.37
FROM:	Glenn Allen	REFERENCE:	332.37-M01
FAX OR EMAIL #:	mail@southernmidlands.tas.gov.au		
TRANSMITTED BY:	Mail <input type="checkbox"/> , Hand <input type="checkbox"/> , Fax <input type="checkbox"/> , Email <input checked="" type="checkbox"/>		
SUBJECT:	RE: SA2022/5 RAI – Stormwater Management		

1 BACKGROUND

This memo is provided in response to the Southern Midlands Council request for further information to address stormwater provisions for the new development. The RAI extract and relevant Scheme clause are shown below:

4. Stormwater Management Report

Please provide a Stormwater Management Report prepared by a suitably qualified person, addressing the requirements of E7.0 Stormwater Management Code of the Southern Midlands Interim Planning Scheme 2015.

The report should address:

- a. The capacity of the existing stormwater network;
- b. Proposed stormwater quality and treatment. Council may consider a financial contribution to provide treatment downstream of the development.
- c. Overland flow paths; and
- d. The provision to convey stormwater from the south west of the development through the site.

01.08.2023 Table 1 - Clause E7.7 Development Standards - Table E7.7.1

Objective:	
To ensure that stormwater quality and quantity is managed appropriately.	
Acceptable Solutions	Performance Criteria
A1 Stormwater from new impervious surfaces must be disposed of by gravity to public stormwater infrastructure.	P1 Stormwater from new impervious surfaces must be managed by any of the following: (a) disposed of on-site with soakage devices having regard to the suitability of the site, the system design and water sensitive urban design principles (b) collected for re-use on the site; (c) disposed of to public stormwater infrastructure via a pump system which is designed, maintained and managed to minimise the risk of failure to the satisfaction of the Council.
A2 A stormwater system for a new development must incorporate water sensitive urban design principles ^{R1} for the treatment and disposal of stormwater if any of the following apply: (a) the size of new impervious area is more than 600 m ² ; (b) new car parking is provided for more than 6 cars; (c) a subdivision is for more than 5 lots.	P2 A stormwater system for a new development must incorporate a stormwater drainage system of a size and design sufficient to achieve the stormwater quality and quantity targets in accordance with the State Stormwater Strategy 2010, as detailed in Table E7.1 unless it is not feasible to do so.
A3 A minor stormwater drainage system must be designed to comply with all of the following: (a) be able to accommodate a storm with an ARI of 20 years in the case of non-industrial zoned land and an ARI of 50 years in the case of industrial zoned land, when the land serviced by the system is fully developed; (b) stormwater runoff will be no greater than pre-existing runoff or any increase can be accommodated within existing or upgraded public stormwater infrastructure.	P3 No Performance Criteria.
A4 A major stormwater drainage system must be designed to accommodate a storm with an ARI of 100 years.	P4 No Performance Criteria.

Clause E7.7 A2 references the acceptable stormwater quality and quantity targets that should be achieved unless it is not feasible to do so:

Table 2 - Clause E7.7 Development Standards – Table E7.1

80% reduction in the average annual load of total suspended solids (TSS) based on typical urban stormwater TSS concentrations.
45% reduction in the average annual load of total phosphorus (TP) based on typical urban stormwater TP concentrations.
45% reduction in the average annual load of total nitrogen (TN) based on typical urban stormwater TN concentrations.
Stormwater quantity requirements must always comply with requirements of the local authority including catchment-specific standards. All stormwater flow management estimates should be prepared according to methodologies described in Australian Rainfall and Runoff (Engineering Australia 2004) or through catchment modelling completed by a suitably qualified person.

2 METHODOLOGY

This assessment is based on the proposed road and drainage layouts as shown on the NTCADS development application drawing 332.37-C01 Rev B dated 01.09.2022.

Stormwater analysis of the pre- and post-developed site is done in accordance with the Australian Rainfall & Runoff 2019 (ARR) methodologies. Design rainfall values are

01.08.2023 obtained from the Bureau of Meteorology. Pre-developed site runoff parameters are taken from the ARR data hub for the Derwent River Region (initial loss 25mm/hr, continuing loss 4.6mm/hr). These figures are for the rural area as shown in Figure 1, and should not be applied to urban areas.

It is noted that the BOM design rainfall values are bursts, not complete storms. The initial loss values from ARR are for complete storms, not bursts. Therefore the initial loss values need to be reduced so they are suitable for bursts. In accordance with ARR recommendations, the burst initial loss is the storm initial loss minus the pre-burst rainfall depth. These figures are provided from the data hub and applied as follows:

**Table 3: ARR Burst Lossrd
Median Preburst Depths and Ratios**

Values are of the format depth (ratio) with depth in mm

min (h)\AEP(%)	50	20	10	5	2	1
60 (1.0)	4.1 (0.346)	5.2 (0.322)	5.9 (0.308)	6.6 (0.296)	4.9 (0.186)	3.7 (0.123)
90 (1.5)	3.2 (0.230)	4.3 (0.225)	5.0 (0.221)	5.6 (0.218)	5.0 (0.165)	4.6 (0.134)
120 (2.0)	2.5 (0.155)	4.0 (0.188)	5.1 (0.201)	6.1 (0.210)	5.4 (0.160)	4.9 (0.130)

For this analysis it is reasonable that the ARR rural losses obtained from the region shown in Figure 1 are applicable, as seen in Figure 2 which indicates the primary ground cover in the surrounding the subdivision catchment is cleared pasture.

A conservative approach is therefore taken with regard to losses, reducing the ARR rural figures and applying the pre-burst losses:

Initial Loss: 15mm

Continuing Loss: 3.5mm/hr

Runoff is assessed using the data & methodology above, and is applied via the Watercom program DRAINS. The model is not calibrated against any local stream gauge as it would not be particularly relevant to this rural/urban project which is seeking to compare pre- and post-developed runoff states.

Site and pipe levels are derived from the November 2021 survey, incorporating the drainage network through to Lake Dulverton.

Catchment information is derived from aerial images and the Tasmanian Flood Recovery 2019 Lidar dataset. The existing overland flow paths have been derived from contours and a site inspection to confirm. Figure 3 shows the catchment to be assessed with regard to flows to pits/culverts and overland flow paths through to Lake Dulverton.

Figure 1: ARR Rainfall Losses - Storm

01.08.2023

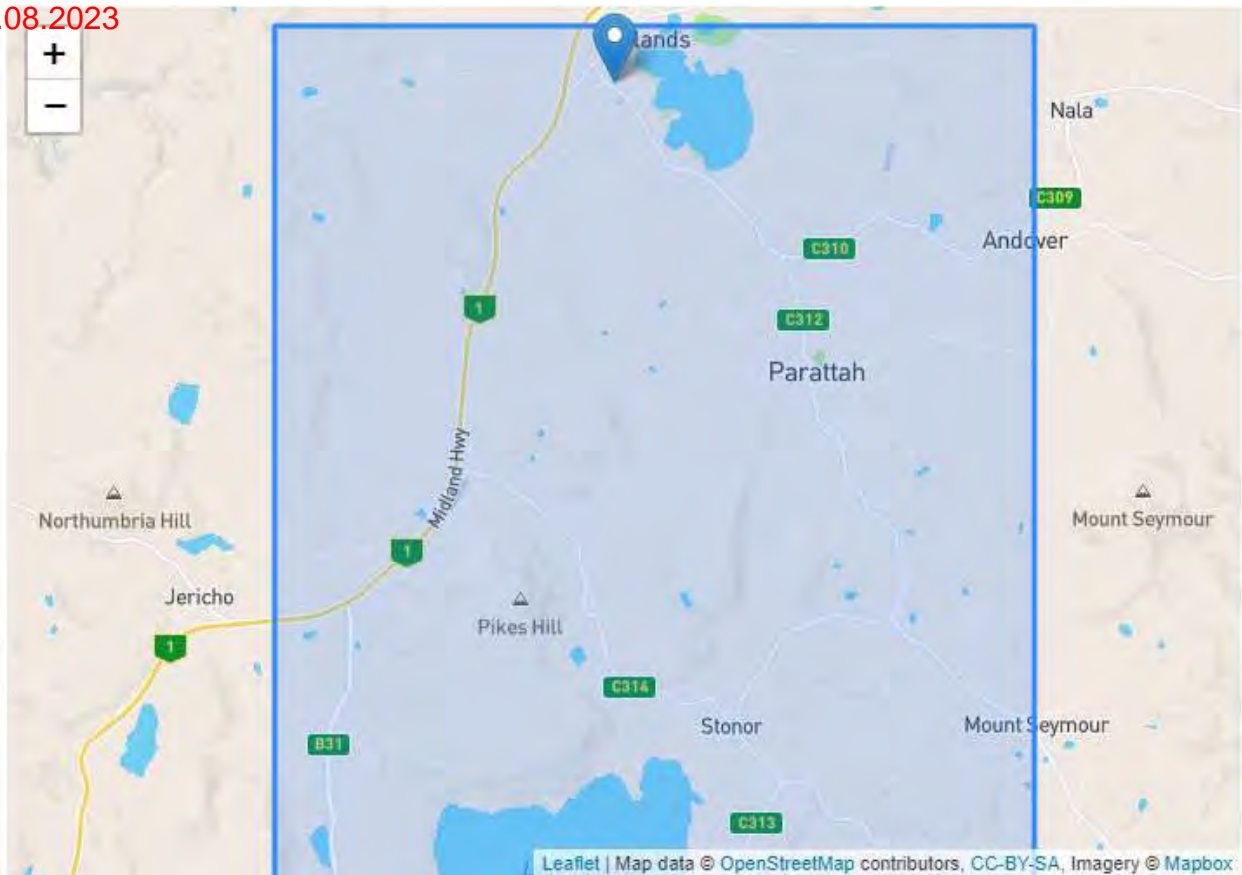


Figure 2: Catchment Ground Cover

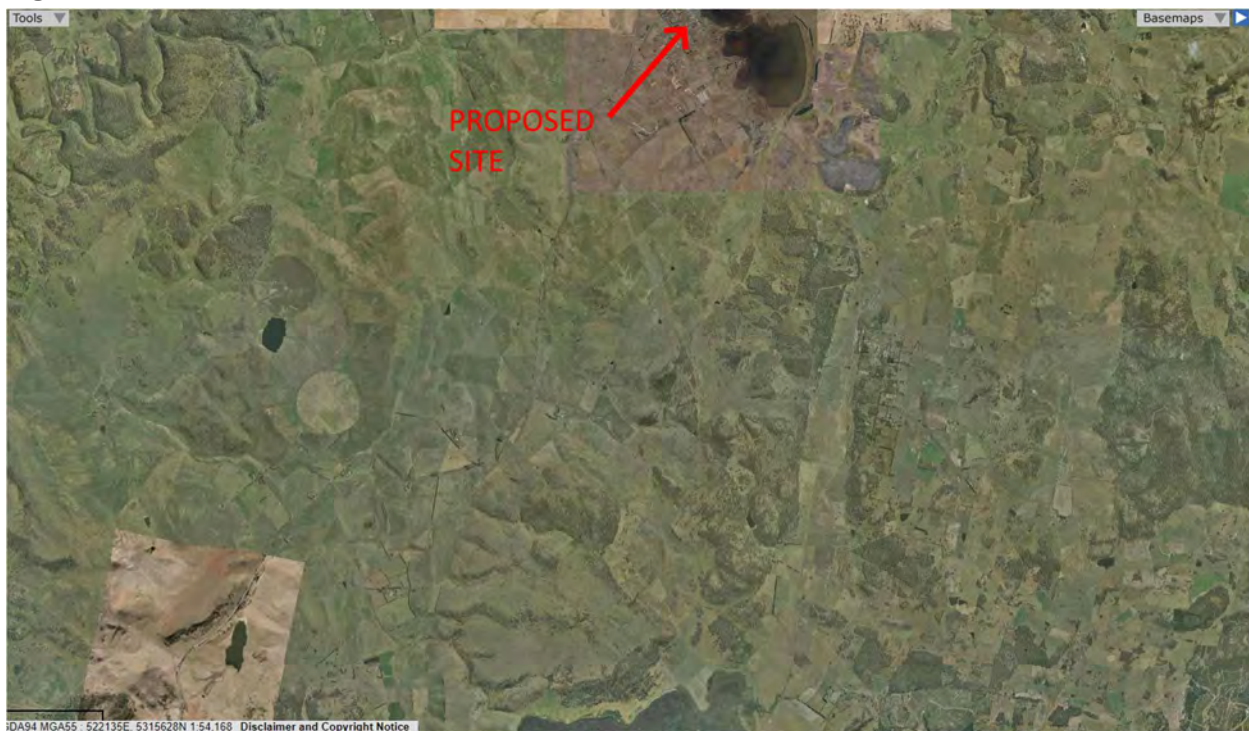


Figure 3: Proposed Development, Existing Catchment & Overland Flow Paths

01/08/2023



Figure 4: Queen Anne St - Overland Flow Path from Swale



Discharge from the DN300 headwall below the 3.11 hectare catchment bounded by Tunnack Rd and Queen Anne St. Swale overflows though the proposed development when flow depth exceeds 70mm.

Figure 5: Queen Anne St - Overland Flow Path from DN450

01.08.2023



Downstream overland flow path as Queen Anne St roadside swale, discharges to Stanley/Lake St at Lake Dulverton. Capacity before spilling to overland flow: 270L/S.

3 STORMWATER RUNOFF ANALYSIS

The DRAINS model has been run for the AEP 5% and 1% (approx. 20 year and 100 year events), for a range of bursts from 10 minutes to 2 hours. The model has been run for the pre-developed condition (majority pervious with rural losses applied, road and roof fraction as impervious), and the developed condition (impervious roof and pavement, remaining pervious areas with reduced rural losses applied).

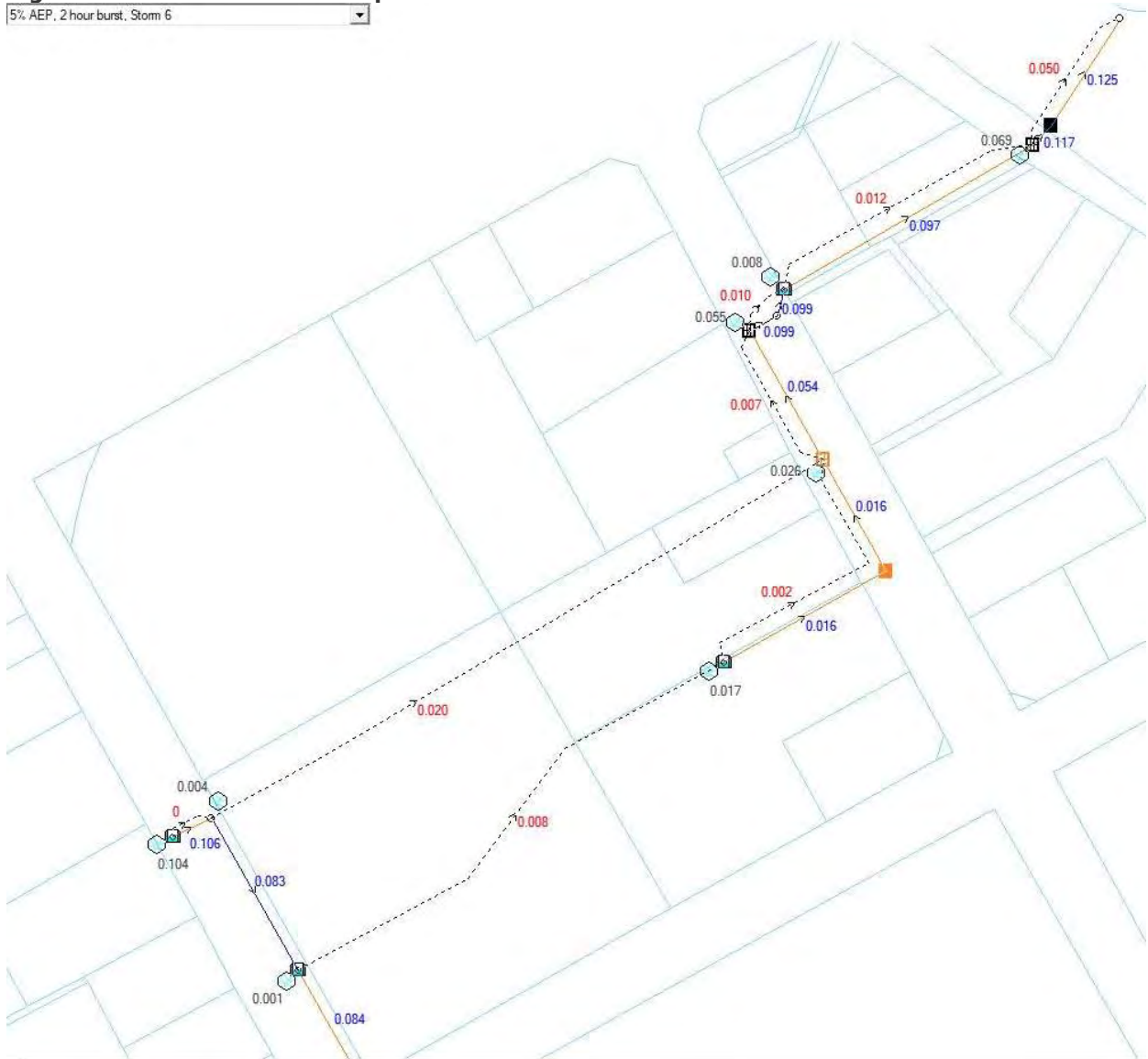
The figures below show the critical flows and discharges for the AEP 5% and 1% events pre- and post-developed catchment. The critical flows are the peaks for that pipe or catchment derived from the application of the storm ensembles across the various burst time periods. From this analysis the critical burst duration and ensemble storm number is selected.

The post-developed figures present the system performance under the peak catchment discharge which is a longer duration event allowing the entire upstream rural areas to contribute. The proposed development can alter some present overland flow paths, which may result in adverse downstream effects.

The peak system discharge resulting from the short duration event falling on the new subdivision road and future roof areas is also presented, to ensure there are not peaks which exceed the piped network.

01.08.2026 **Figure 6: AEP 5% Pre-Developed Critical - Peak Ensemble**

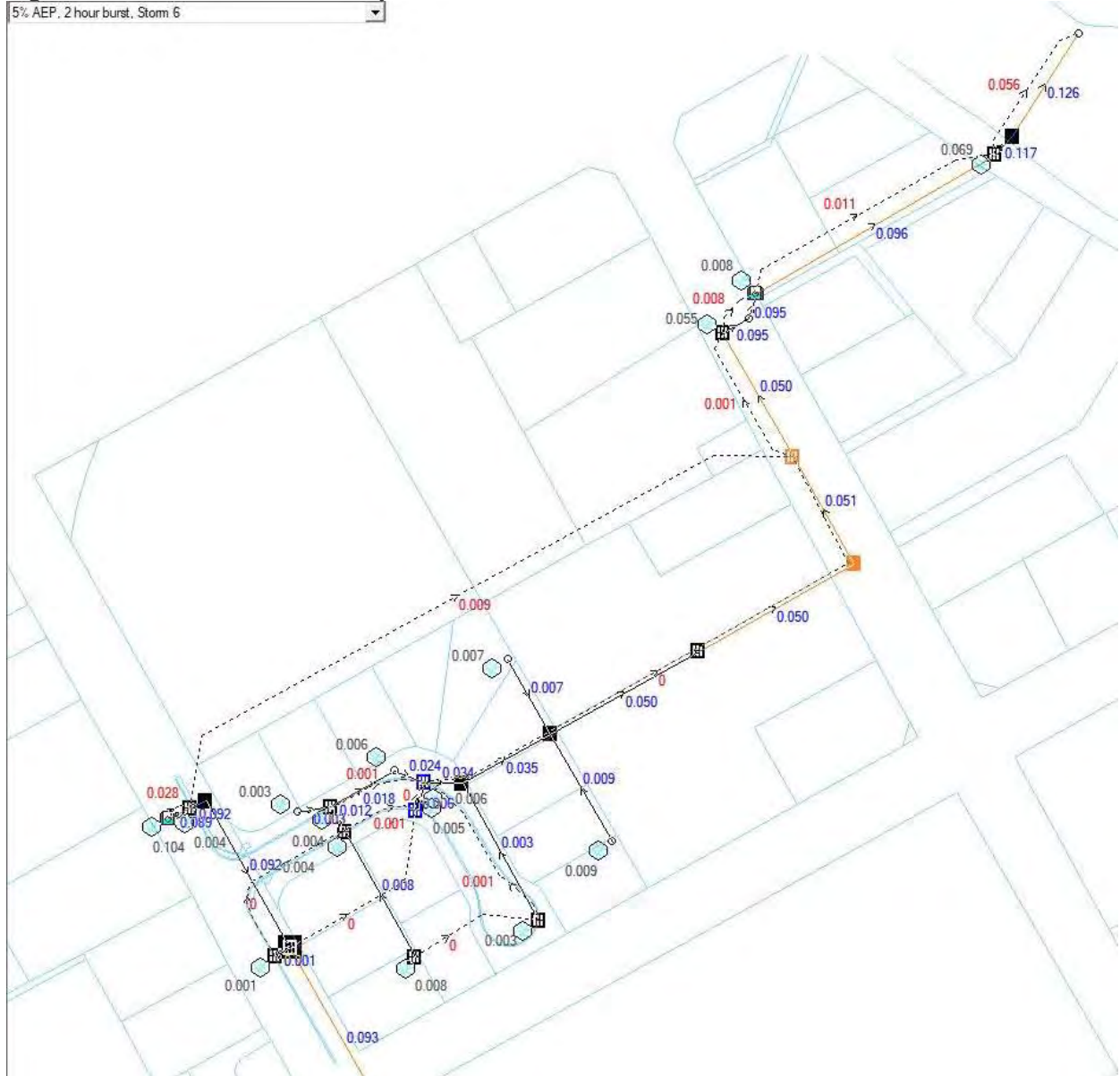
5% AEP, 2 hour burst, Storm 6



Minor overland flow results from the Queen Anne St culvert overtopping the roadside swale as shown in Figure 4, passing through 14 Queen Anne St. Discharge is contained within the piped network until minor surcharging occurs at the Stanley St headwall, passing through Lots 76-80 Stanley St to the Esplanade, before an increase in the overtopping flow passes to Lake Dulverton.

The adverse change to downstream flow conditions is small, and results from the new kerb and gutter and pipe along Queen Anne St diverting some overland flow around the development site, and a change to the response time of the new impervious areas.

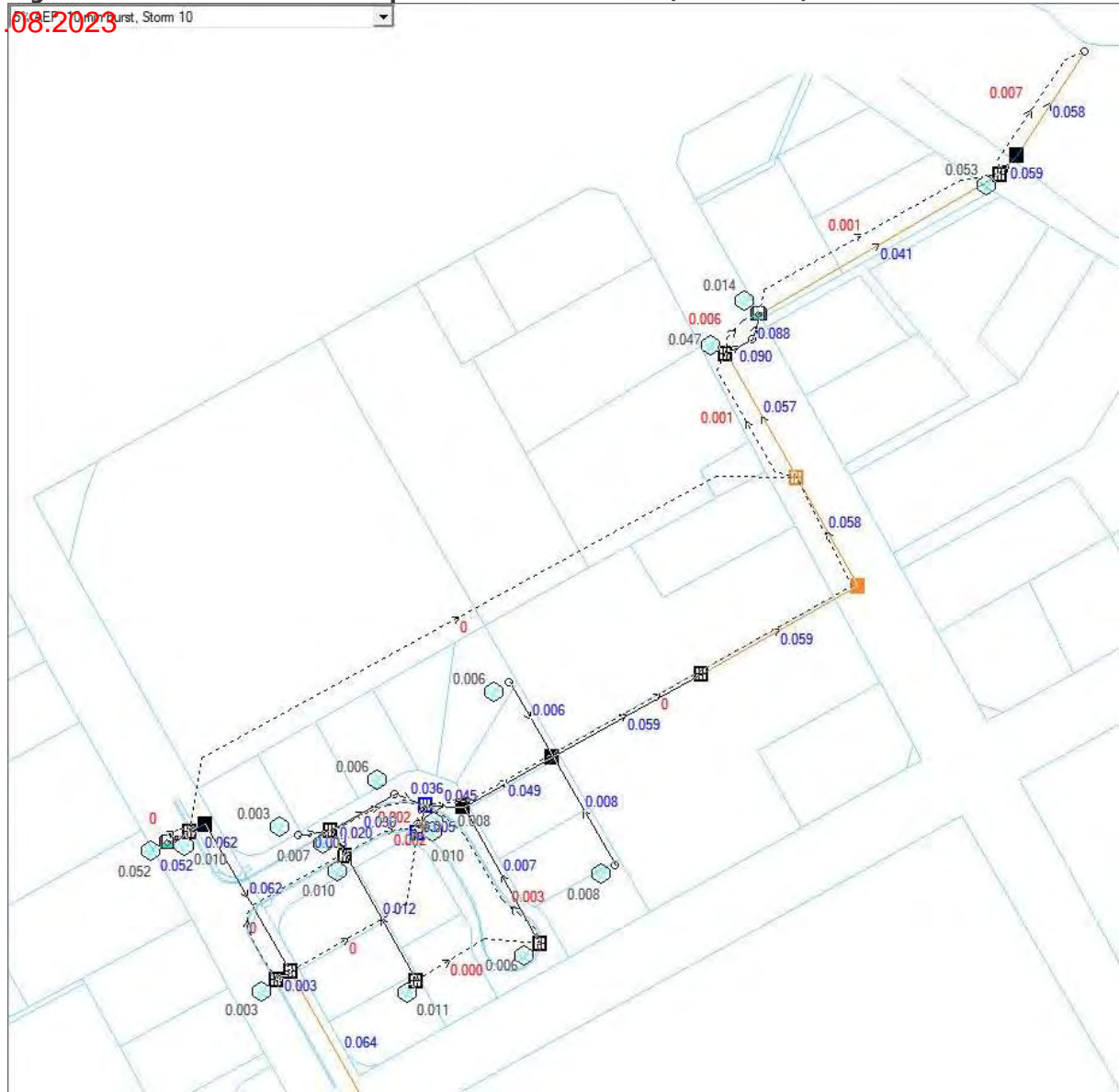
01.08.2023 **Figure 27: AEP 5% Post-Developed Critical – 2 hour (burst #6)**



Surcharging flow results from the Queen Anne St culvert overtopping the road as free discharge to the open swale is replaced by pit and pipe. Reduced overland flow from the swale, now passing through 15 Marlborough St / 14 Queen Anne St boundary. Discharge is contained within the piped network until the same rate of pre-dev minor surcharging occurs at the Stanley St headwall, passing through Lots 76-80 Stanley St to the Esplanade, before a slightly larger overtopping flow passes to Lake Dulverton.

Figure 8: AEP 5% Post-Developed Peak – 10minute (Burst #10)

01.08.2023



Clause E7.7 A3(a) is satisfied.

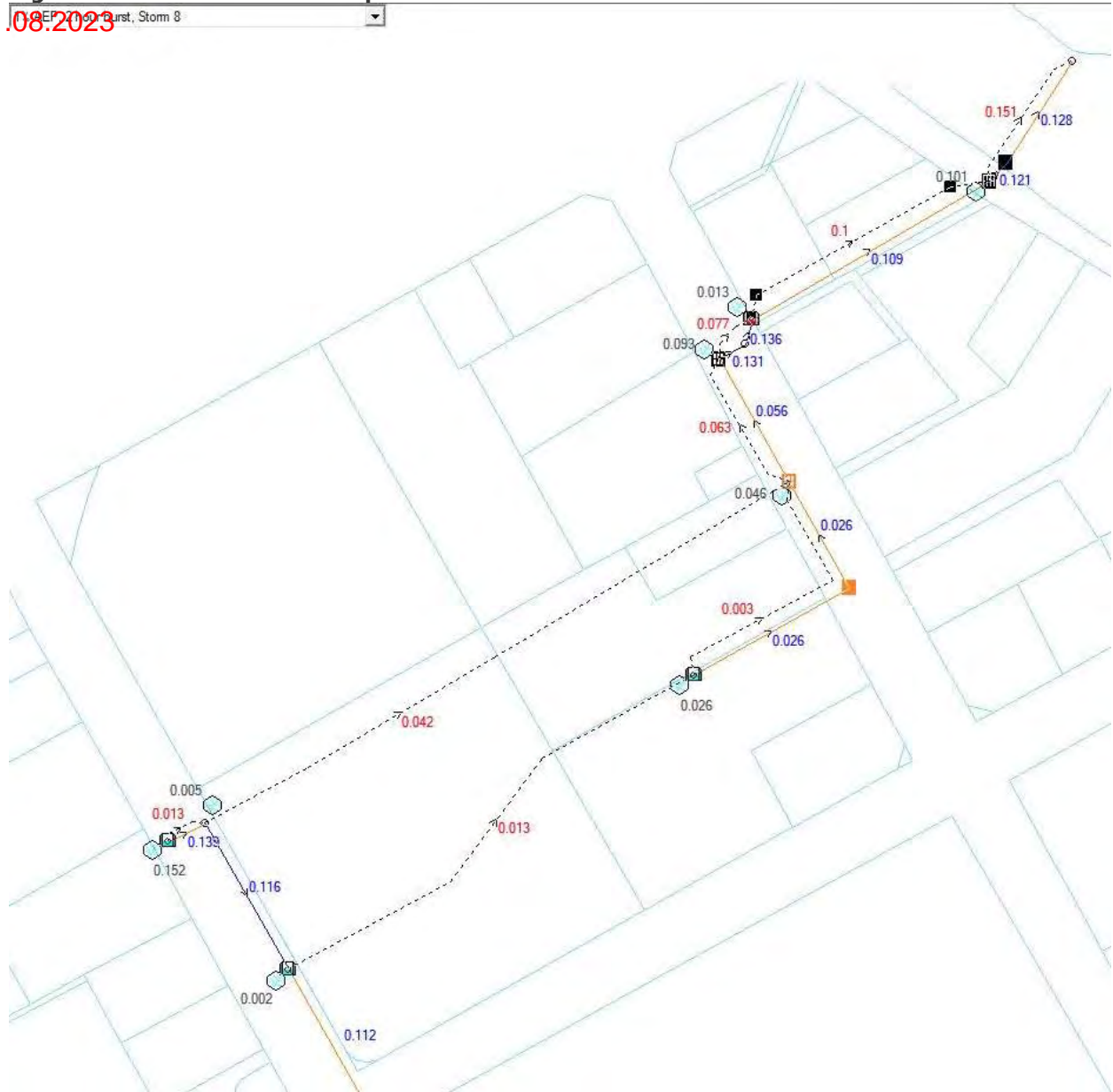
The critical network flows that result from a short duration burst across the new subdivision pavement and roof does not result in additional surcharging at the downstream pits. The longer duration event results in a minor decrease of overland flow through to Stanley St passing along the boundary of the development due to the position of the new kerb on Queen Anne St.

The minor increase of overland flow across the Esplanade is deemed acceptable, as the 6 litres/sec increase across the road is approximately equivalent to an increase in overtopping depth of 2-3mm.

Clause E7.7 A3(b) is satisfied.

Figure 9: AEP 1% Pre-Developed Critical - Peak Ensemble

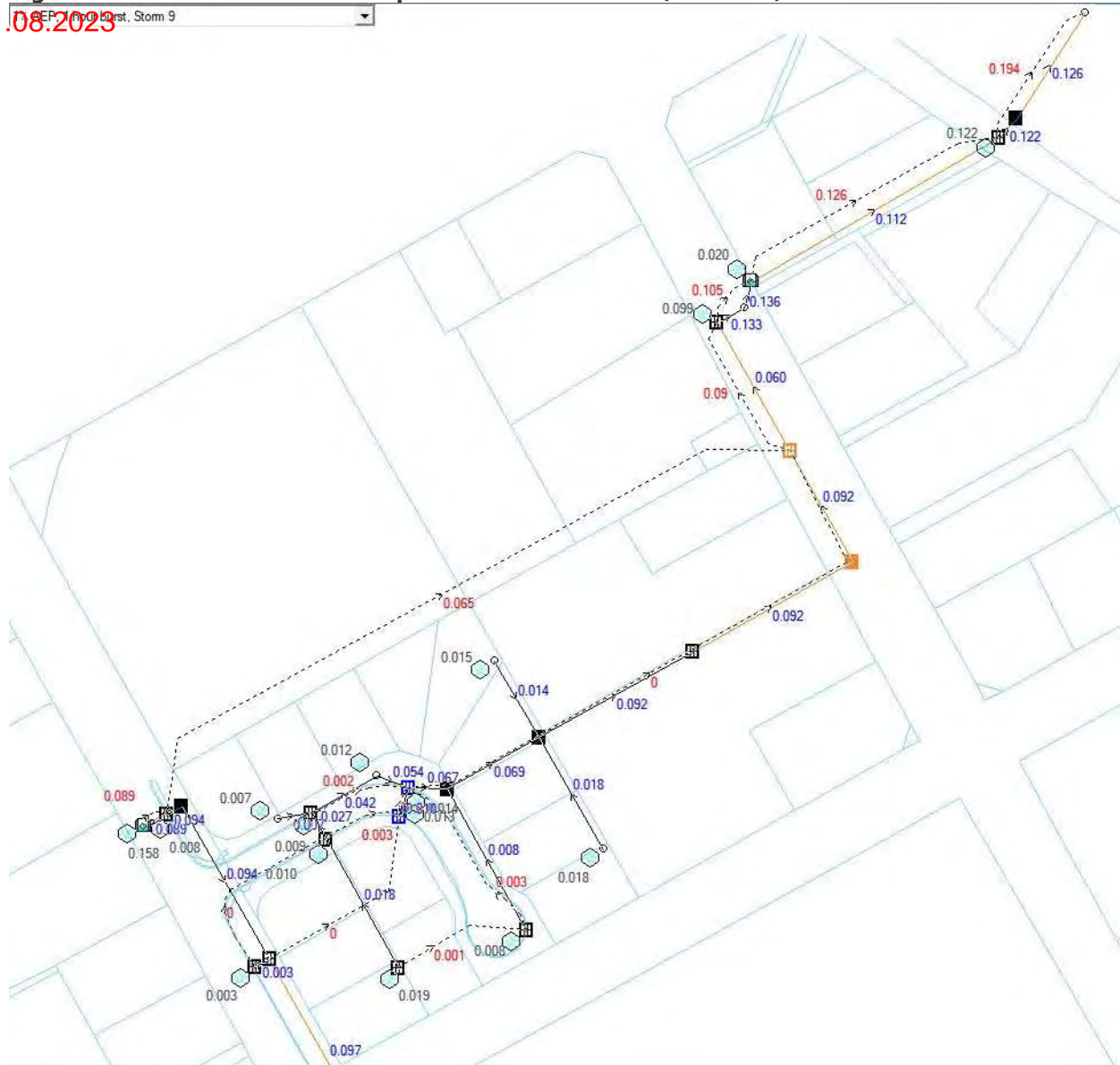
01.08.2023



The existing condition AEP1% critical discharge is associated with the 2 hour duration burst, and results in a significant surcharge at the Queen Anne St and Stanley St culverts with overland flows through the existing lots as shown in Figure 3.

Figure 10: AEP 1% Post-Developed Critical – 1 hour (burst #9)

01.08.2023



The developed site under the 2 hour burst 8 scenario has peak discharges almost exactly matching the critical 2 hour event for the existing condition.

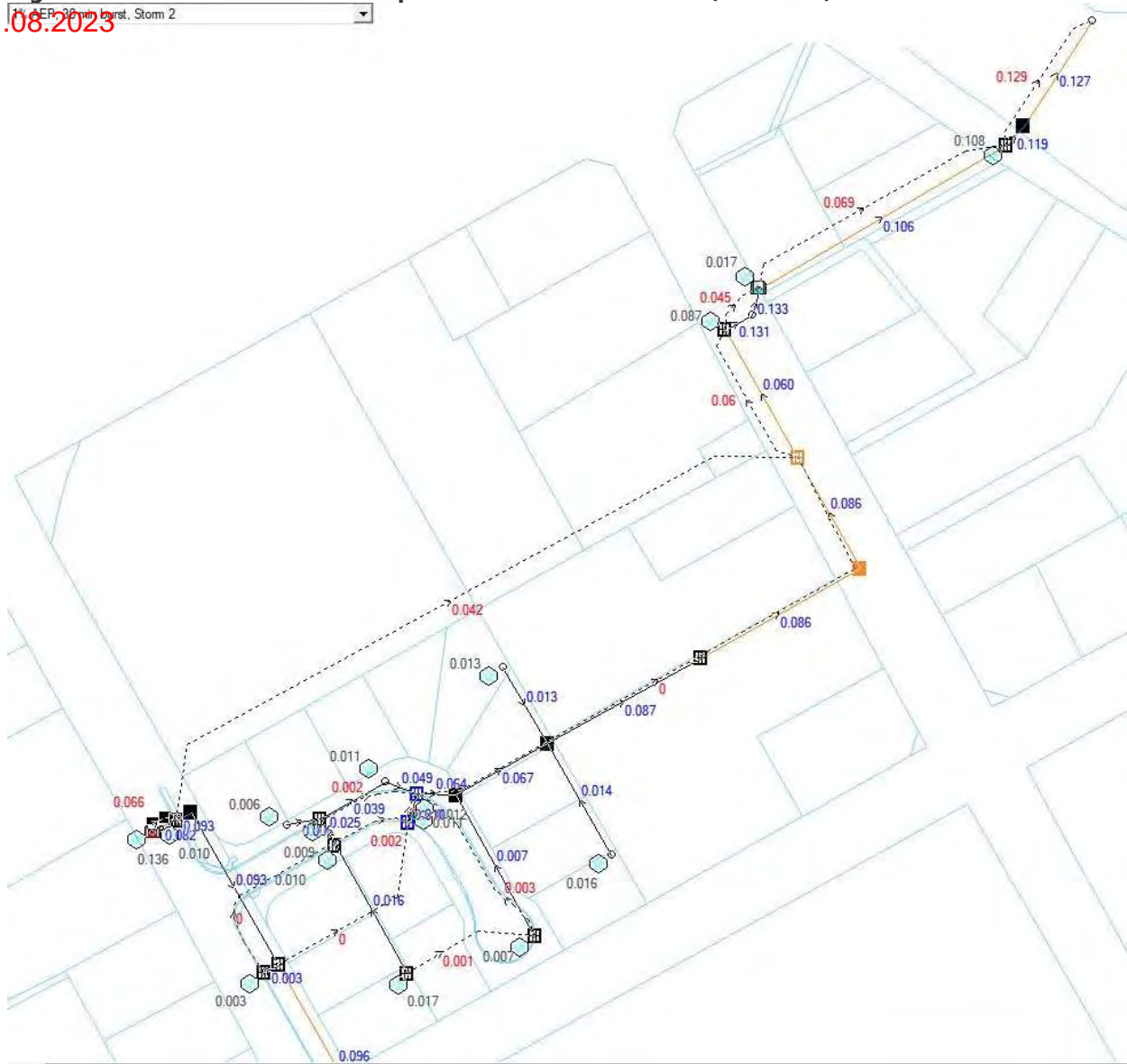
The critical 1 hour burst results in a larger overland flow component due to the existing Queen Anne St DN300 culvert surcharging and overtopping. Piped discharge from the pavement has coincident peaks with the upstream catchment overland flow components that result in larger flows through to the Esplanade.

The 26 litre/sec increase in overland flow through Lots 76-80 Stanley St to the Esplanade results in an increase in depth of approx. 16mm, rising from approx. 57mm to 73mm.

When considering the peak runoff associated with the critical burst over the proposed subdivision pavement and roof, a shorter duration 30 minute burst is assessed.

Figure 11: AEP 1% Post-Developed Critical – 30 minute (burst #2)

01.08.2023



Peak flows in the piped network are accommodated by the subdivision drainage system without surcharge, and conditions downstream in the existing network are not worse than the critical pre-developed condition.

For the subdivision drainage system, Clause E7.7 A4 is satisfied.

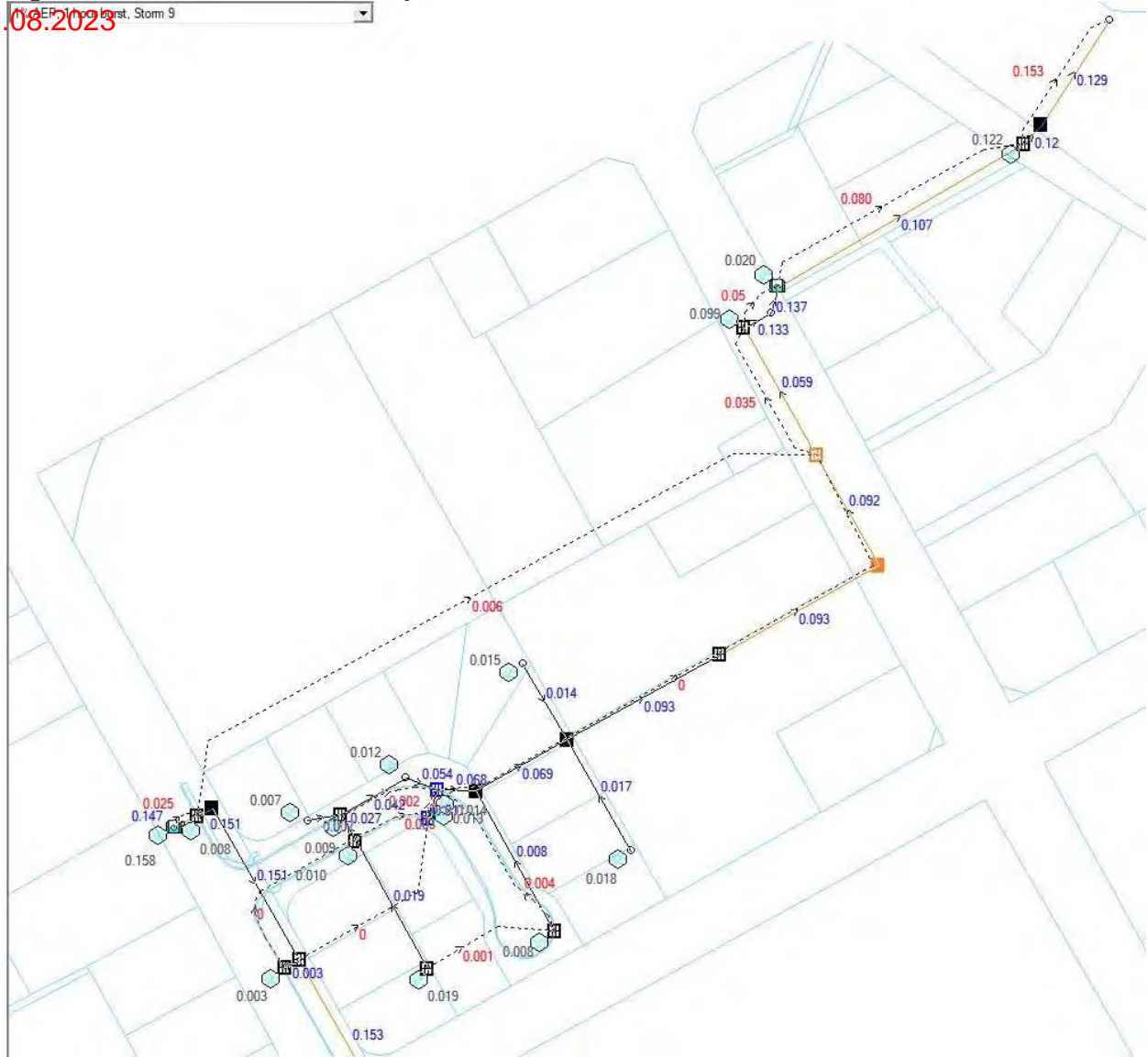
To consider Clause E7.7 A4 with respect to the whole of the catchment, in particular the downstream section which is subject to the increase in overland flow under the critical AEP1% 1 hour burst, a reduction in discharge from the Queen Anne St upstream catchment must occur.

The new kerb along Queen Anne St in front of the subdivision acts to divert overtopping flow into the adjacent lot, and removes some discharge from the open drain.

By increasing the existing DN300 road crossing and the proposed new DN300 along Queen Anne St to DN375, a greater proportion of surcharge flow can be piped away from the downstream properties.

Figure 12: AEP 1% Post-Developed Critical – DN375 - 1 hour (burst #9)

01.08.2023



This has the desired effect of reducing downstream surcharging flows, improving the overland flow discharge by approx. 20% through the property passing to the Esplanade.

Present AEP 1% flow depth in the main Queen Anne St open drain is approx. 275mm. The flow depth under AEP1% conditions associated with the proposed development increases to 325mm. A freeboard to spill of 125mm is retained, while freeboard to the roadside is between 950-1,150mm.

For the increased DN375 drainage system, Clause E7.7 A4 is satisfied for the whole catchment.

This analysis confirms that the request to convey stormwater from the south west, which is the upstream Queen Anne St catchment of approx. 3.11 hectares passing to the DN300 road culvert, will result in a significant increase in overland flows through the existing downstream properties.

4 STORMWATER QUALITY ANALYSIS

01.08.2023 Target pollutant reductions are noted in the Interim Scheme, reproduced below:

Figure 13: Acceptable Stormwater Quality and Quantity Targets

80% reduction in the average annual load of total suspended solids (TSS) based on typical urban stormwater TSS concentrations.
45% reduction in the average annual load of total phosphorus (TP) based on typical urban stormwater TP concentrations.
45% reduction in the average annual load of total nitrogen (TN) based on typical urban stormwater TN concentrations.
Stormwater quantity requirements must always comply with requirements of the local authority including catchment-specific standards. All stormwater flow management estimates should be prepared according to methodologies described in Australian Rainfall and Runoff (Engineering Australia 2004) or through catchment modelling completed by a suitably qualified person.

Analysis using MUSIC version 6.3 will compare the potential treatment train effectiveness of the proposed development, considering the new pavement and future houses, and the elements to mitigate discharge quality.

4.1 Music Modelling

The MUSIC Model Version 6.3 was used to determine the pollutant load resulting from the development and the treatment effectiveness of proposed elements. The treatment train options consist of:

- Grated pit gross pollutant traps (SPEL Stormsack) to intercept runoff from the new road;
- A SPEL Filter cartridge system comprising two SF.14-EMC tertiary treatment units, with a high level bypass weir to pass the flow exceeding the nominal 3-monthly ARI flow (see Figure 14 for SPEL performance specification); OR
- A VortSentry or similar hydrodynamic separator to remove suspended solids with some complementary reduction in nutrients.

Figure 14: SPEL Filter Specification

Models	Dimensions (mm)			Flow Rate (L/s)	Removal Rates* (%)		
	Minimum Head	Height	Diameter		TSS	TP	TN
SPEL Filter - SF.14-EMC	450	560	700	1.41	78	59	42
SPEL Filter - SF.29-EMC	850	920		2.83			

Figure 15: VortSentry Specification

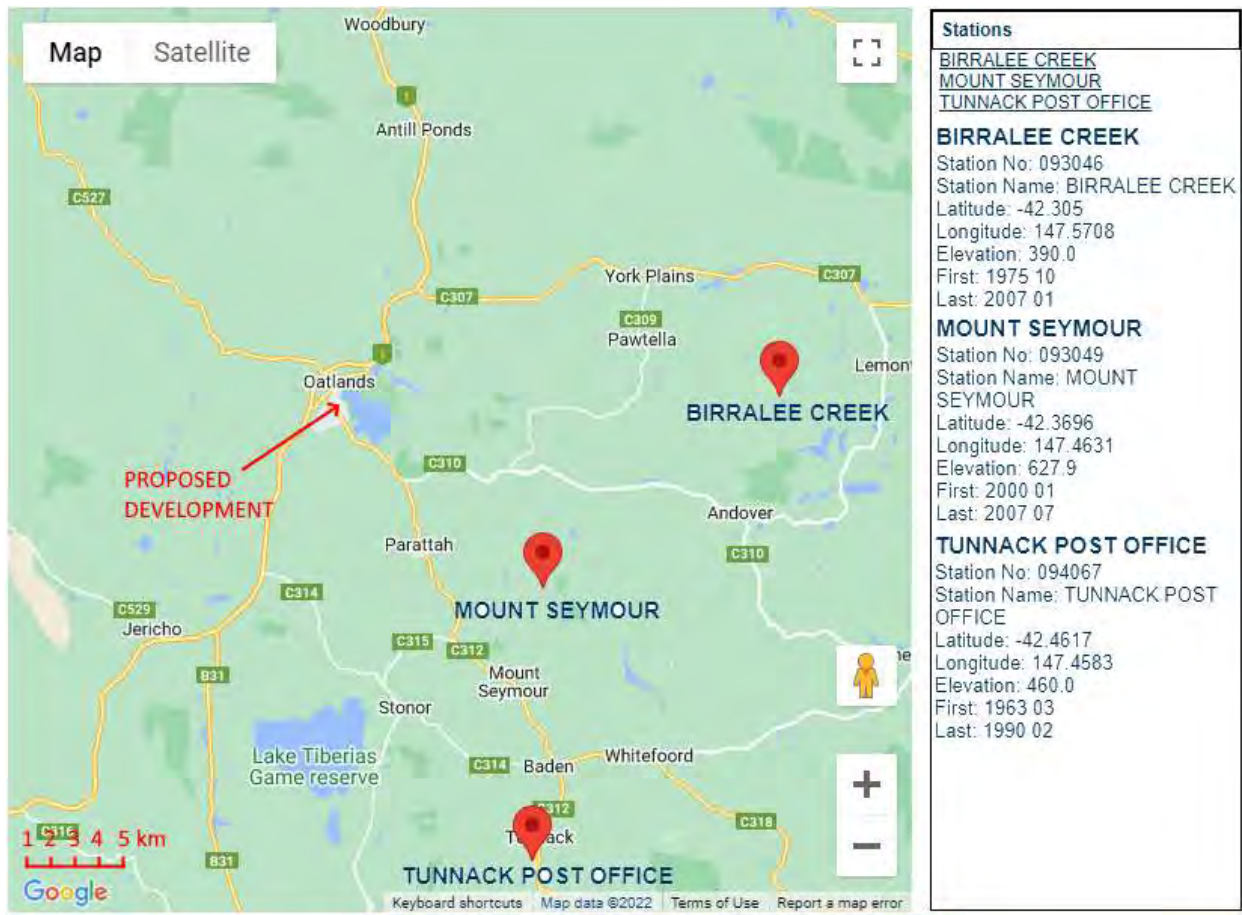
Models	Dimensions (mm)				Capacities		
	Internal Diameter	Overall Width	Depth below invert	Manhole/ Size	Sump Capacity (m³)	Floatables Volume (m³)	Treatable Flow rate (L/s)
IN-LINE SERIES							
SVI.025(L/R)	1200	1370	1400	600x600	1.2	0.06	26
Pollutant				Efficiency			
Gross Pollutants (GP)				99%			
Total Suspended Solids (TSS)				70%			
Total Phosphorus (TP)				30%			
Total Nitrogen (TN)*				0%			
Petroleum Hydrocarbon*				94%			

It should be noted that provision of a stormwater quality treatment train will be limited in 01.08.2023 by to treat runoff fully to the standard nominated without some biological treatment stage to remove dissolved nitrogen and phosphorous.

4.2 Meteorological Data

The model was run using daily Bureau of Meteorology 6 minute pluviograph data and monthly areal PET values from the Birralee Creek 93046 station which is approx. 16km east on the same latitude and elevation. The 32 year data period from 1975 - 2007 was used for continuous modelling. The station closer to the site did not have a suitable rainfall record.

Figure 16: Meteorological Station



4.3 Pollutant Input Parameters

Pollution generation node parameters were modelled in accordance with the Melbourne Water Guidelines 2016. The stochastic generation option has been used.

The urban pollutant generation parameters below for Roof, Road & Paved and Urban Areas (Mixed) have been used.

Table 4 - Source Nodes: Base and Storm Flow

01.08.2023

Pollutant	Surface Type	Storm Flow		Base Flow	
		Mean (log mg/L)	SD (log mg/L)	Mean (log mg/L)	SD (log mg/L)
SS	Roof	1.301	0.333	n/a*	n/a
	Road and paved areas	2.431	0.333	n/a	n/a
	Urban area not covered by roof, road or paved areas	1.900	0.333	0.96	0.401
TP	Roof	-0.886	0.242	n/a	n/a
	Road and paved areas	-0.301	0.242	n/a	n/a
	Urban area not covered by roof, road or paved areas	-0.700	0.242	-0.731	0.360
TN	Roof	0.301	0.205	n/a	n/a
	Road and paved areas	0.342	0.205	n/a	n/a
	Urban area not covered by roof, road or paved areas	0.243	0.182	0.455	0.363

Table 2 - Pollutant concentration data for source nodes. * n/a indicates that base flow does not occur from these surfaces. (Source: Fletcher, 2007. Background Study for the revision of Melbourne Water's MUSIC Input Parameter Guidelines. Not published)

4.4 Pervious Areas

Pre- and post-developed pervious surface parameters have been taken as the clay loam equivalent (Table 5.5 of the NSW Music Modelling Guidelines 2015 for soil storage and field capacity), based on a conservative approach for typically poorly draining soils in Tasmania, with a root zone of 0.5m.

Table 5-5 Pervious Area Rainfall-Runoff Parameters* (Macleod, 2008)

Soil Texture	SSC (mm)	FC (mm)	Inf "a" (mm/d)	Inf "b"	DRR (%)	DBR (%)	DDSR (%)
Sand	175	74	360	0.5	100%	50%	0%
Loamy sand	139	69	360	0.5	100%	50%	0%
Clayey sand	107	75	250	1.3	60%	45%	0%
Sandy loam	98	70	250	1.3	60%	45%	0%
Loam	97	79	250	1.3	60%	45%	0%
Silty clay loam	100	87	250	1.3	60%	45%	0%
Sandy clay loam	108	73	250	1.3	60%	45%	0%
Clay loam	119	99	180	3.0	25%	25%	0%
Clay loam	133	89	180	3.0	25%	25%	0%
Silty clay loam	88	70	180	3.0	25%	25%	0%
Sandy clay	142	94	180	3.0	25%	25%	0%
Silty clay	54	51	180	3.0	25%	25%	0%
Light clay	98	73	135	4.0	10%	10%	0%
Light-medium	90	67	135	4.0	10%	10%	0%
Medium clay	94	70	135	4.0	10%	10%	0%
Medium-heavy	94	70	135	4.0	10%	10%	0%
Heavy clays	90	58	135	4.0	10%	10%	0%

4.5 Source and Treatment Node Modelling

Mean annual pollutant loads for the proposed development have been determined by running the model over the nominated timestep and rainfall interval period. The pollutant

removal parameters adopted for each element are values provided by SPEL, and reflect 01.08.2023 values as used by many Councils on the mainland.

The model has been run using the option of either a SPEL VortSentry model SVI.025 (hydrodynamic separator) with SPEL Stormsacks (gross pollutant trap) at the side entry pits, or a 2 unit SPEL-Filter (upflow media treatment) with SPEL Stormsacks at the side entry pits.

The Stormsacks, VortSentry and SPEL Filter are modelled with the manufacturer's recommended high flow bypass discharge.

The analysis results in the following mean average annual pollutant reduction for the proposed treatment train options as shown in Figures 17 & 18.

Figure 17 - MUSIC Model Setup – Post-development

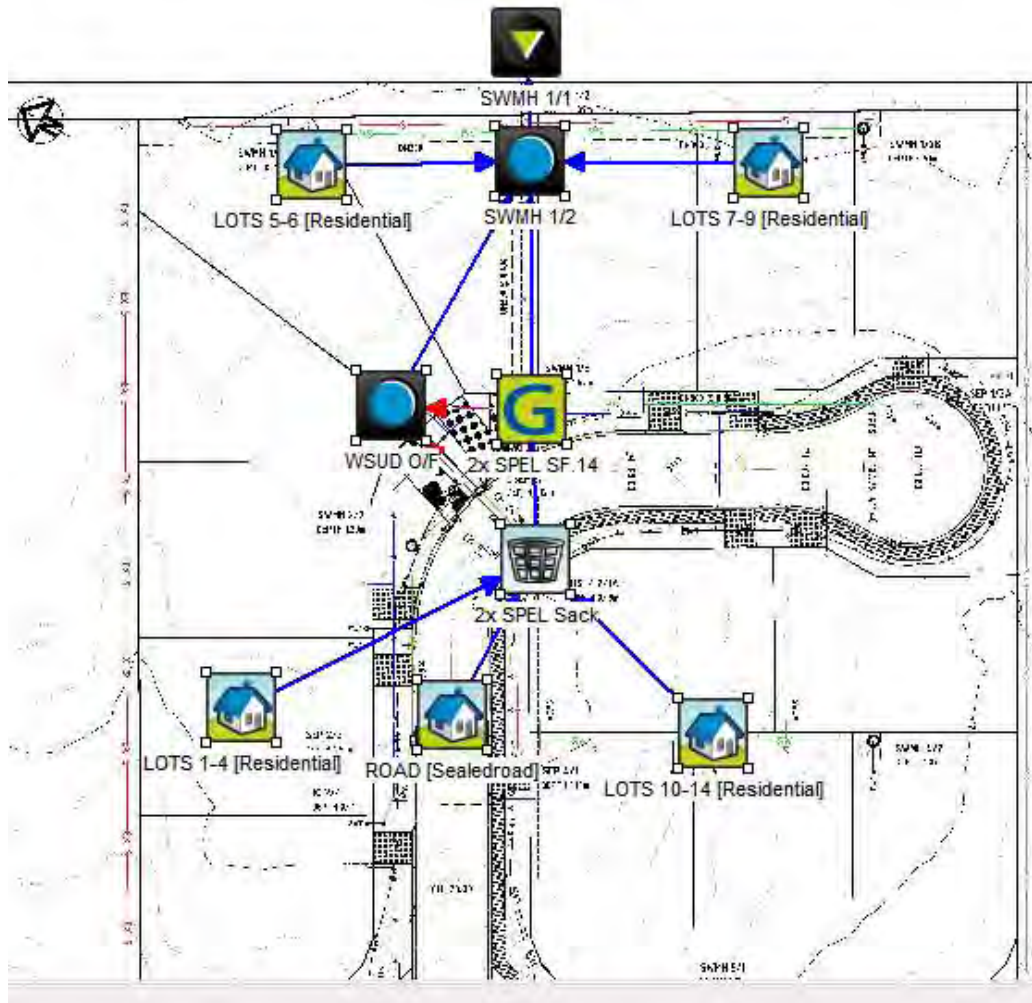


Figure 18 - Post-development Treatment Train Effectiveness - VortSentry

	Sources	Residual Load	% Reduction
Flow (ML/yr)	0.287	0.287	0
Total Suspended Solids (kg/yr)	47.9	4.62	90.4
Total Phosphorus (kg/yr)	0.0959	0.0521	45.7
Total Nitrogen (kg/yr)	0.672	0.56	16.8
Gross Pollutants (kg/yr)	13.4	3.07	77.1

The reduction in TN is short of the recommended target of 45 as expected for what is essentially a particulate removal system.

Figure 19 - Treatment Train Effectiveness – SPEL Filter

	Sources	Residual Load	% Reduction
Flow (ML/yr)	0.287	0.287	0
Total Suspended Solids (kg/yr)	47.9	5.5	88.5
Total Phosphorus (kg/yr)	0.0959	0.0426	55.6
Total Nitrogen (kg/yr)	0.672	0.424	37
Gross Pollutants (kg/yr)	13.4	3.07	77.1

The reduction in TN is short of the recommended target of 45 as expected for what is essentially a more effective particulate removal system.

The requirement under Clause E7.7.1 P2 for the development to mitigate pollutant loads from new point sources is therefore not satisfied.

The effective treatment of impervious surfaces within the total catchment discharging to Lake Dulverton is best addressed by providing a combination of a gross pollutant / sediment trap and biological treatment such as bio-filtration or a section of wetlands prior to the main water body.

Sincerely,



Glenn Allen

Civil Engineer

Building Services Provider (Engineer, Civil & Hydraulic)

CC7077

01.08.2023

TO:	Southern Midlands Council	PAGE:	1 of 5
ATTENTION:	Louisa Brown – Planning Officer	DATE:	31.07.22023
PROJECT:	14 Queen Anne St Oatlands – 14 lot subdivision	PROJECT #:	332.37
FROM:	Glenn Allen	REFERENCE:	332.37-M02
FAX OR EMAIL #:	mail@southernmidlands.tas.gov.au		
TRANSMITTED BY:	Mail <input type="checkbox"/> , Hand <input type="checkbox"/> , Fax <input type="checkbox"/> , Email <input checked="" type="checkbox"/>		
SUBJECT:	RE: SA2022/5 Stormwater Layout Revision		

1 BACKGROUND

This memo is provided in response to the Southern Midlands Council request to consolidate new drainage infrastructure with the adjacent Glenelg St subdivision. The drainage layout for is revised as per NTCADS drawings 332.37-C01 Revision D, with long section plots as per drawings 332.37-C03 to C06 Revision A.

The analysis has been done using the Watercom Drains program, with the methodology as described in the previous stormwater management report NTCADS 332.37-M01 dated 28.09.2022.

The proposed Glenelg St subdivision has been incorporated into the Drains model, with the network layout and levels as shown on HED Consulting drawings H2144 Sheets 2-8 dated 08.01.2023. Reference is also made to the accompanying stormwater report for that project dated 20.01.2023, which nominates catchment areas and impervious fractions reporting to the network.

2 STORMWATER RUNOFF ANALYSIS

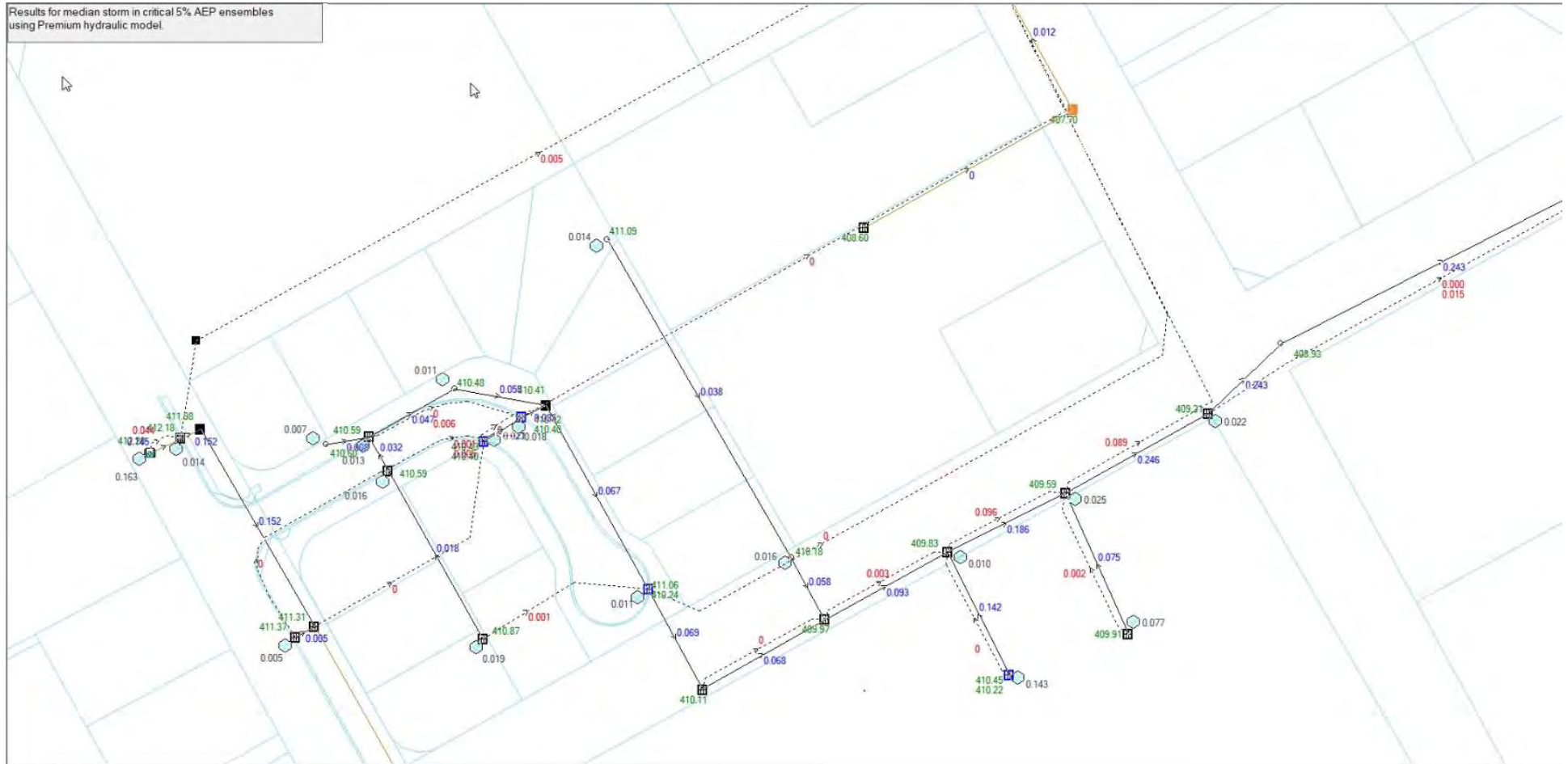
The DRAINS model has been run for the AEP 5% and 1% (approx. 20 year and 100 year events), for a range of bursts from 10 minutes to 2 hours which captures the likely peak critical impervious road/lot discharges, and the total catchment contribution. The model has been run for the developed condition (impervious roof and pavement, remaining pervious areas with reduced rural losses applied).

The figures below show the critical flows in each pipe, the peaks for that pipe or catchment derived from the application of the storm ensembles across the various burst time periods.

NTCADS

01.08.2023

Figure 2: AEP 1% Post-Developed Critical - Peak Ensemble



01.08.2023

Figure 1 shows the proposed subdivision networks for Queen Anne St and Glenelg St are appropriate to convey the AEP5% discharge across a range of storm durations.

Figure 2 shows that the network within the Queen Anne St subdivision can convey the AEP1% discharge within the piped network to the Glenelg St system without passing overland flow through the lots.

A 3 metre wide drainage easement is retained along the boundary of Lots 6 & 7 which passes to the existing headwall and DN300 pipe running through to Lake Dulverton. This is an existing pipe and overland flow route as part of the pre-developed drainage layout, and is retained as a way of managing nuisance flow in the event of blockages.

Figures 3-6 show the ensemble results at the discharge point of each development.

Figure 3: AEP5% Queen Anne St discharge ensemble flow chart

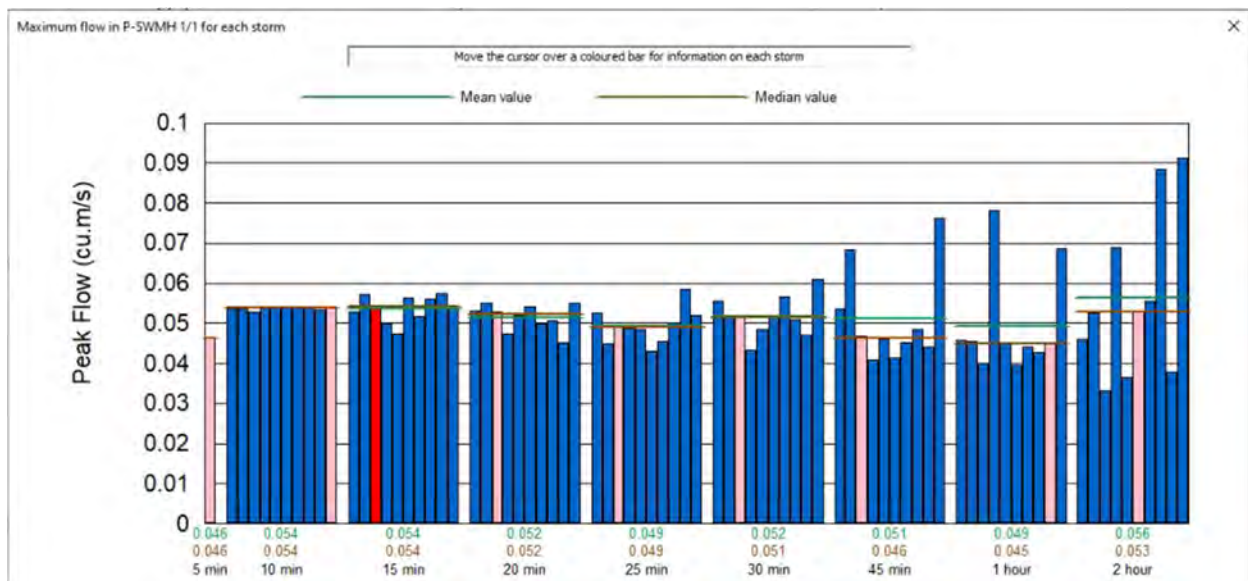
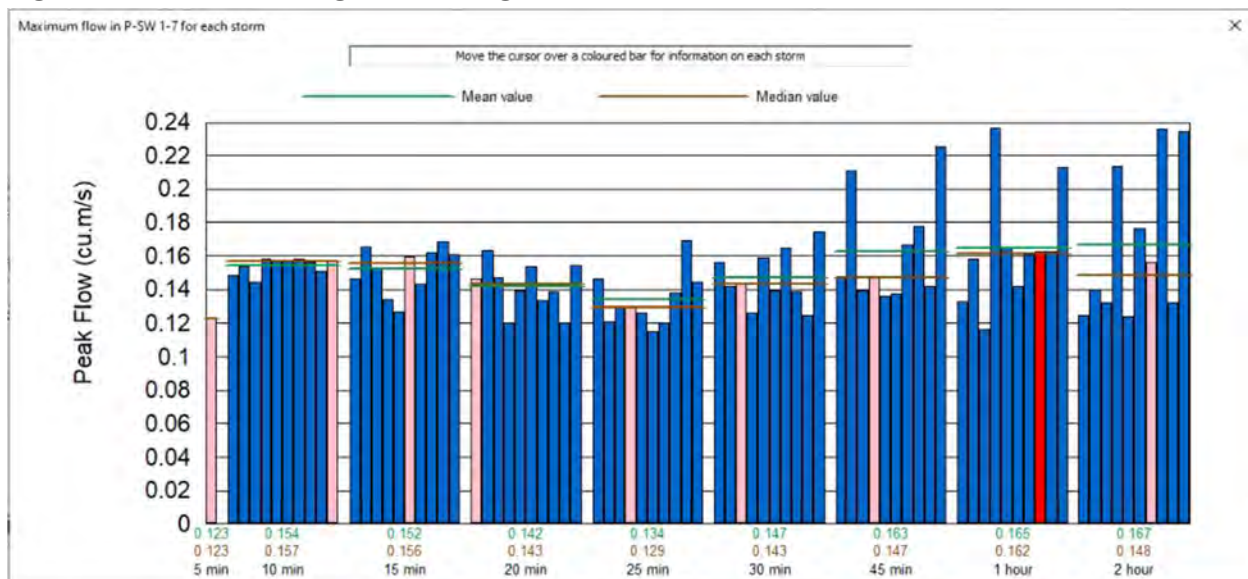


Figure 4: AEP5% Glenelg St discharge ensemble flow chart



01.08.2023

Figure 5: AEP1% Queen Anne St discharge ensemble flow chart

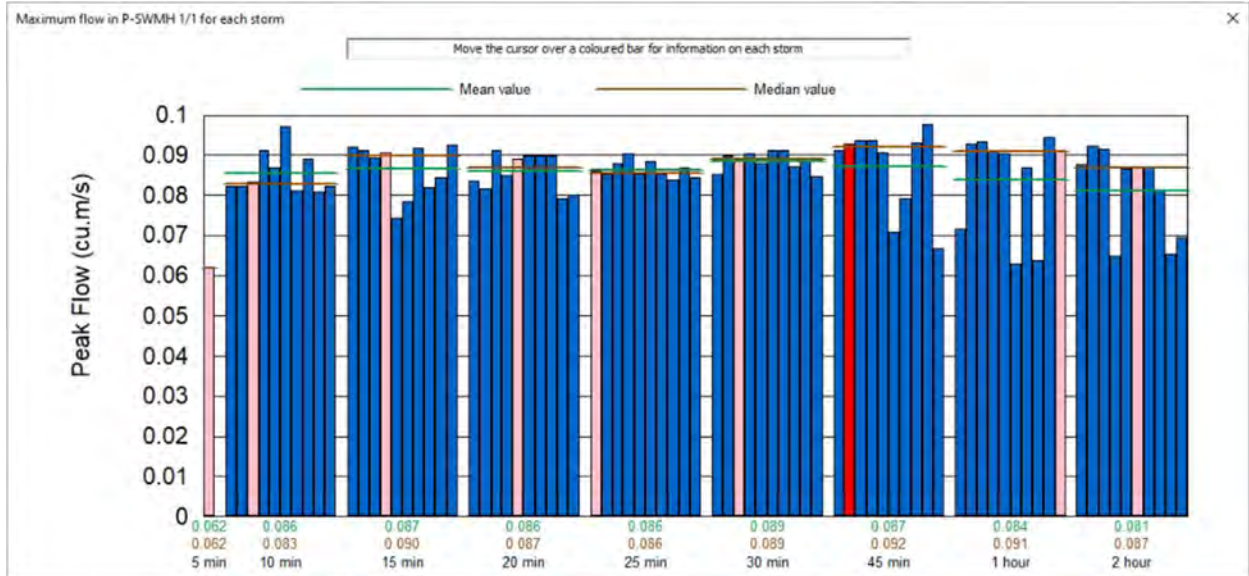
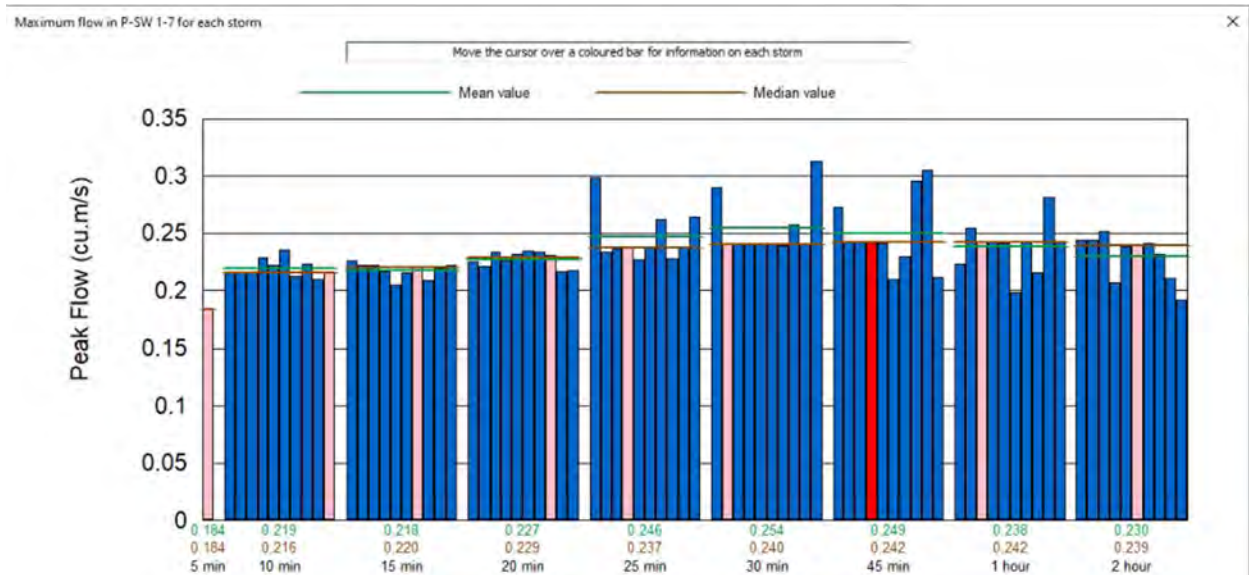


Figure 6: AEP1% Glenelg St discharge ensemble flow chart



This analysis confirms that the request to direct stormwater from the proposed Queen Anne St development into the adjacent Glenelg St subdivision drainage network will not overload the proposed network, nor result in an increase in overland flows through the existing downstream properties.

Sincerely,

Glenn Allen

Glenn Allen

Civil Engineer

Building Services Provider (Engineer, Civil & Hydraulic)

CC7077

SEARCH OF TORRENS TITLE

VOLUME	FOLIO
141879	1
EDITION	DATE OF ISSUE
5	14-Dec-2020

SEARCH DATE : 04-Mar-2022

SEARCH TIME : 11.06 AM

DESCRIPTION OF LAND

Town of OATLANDS

Lot 1 on Plan 141879

Derivation : Part of Lot 84 Gtd. to W. Pherris

Prior CT 141486/1

SCHEDULE 1

M858112 TRANSFER to CARTNEY ZEM PTY LTD Registered
14-Dec-2020 at noon

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP 141878 BENEFITING EASEMENT: Right of drainage over the
Drainage Easement 2.00 wide shown passing through Lot
1 on Sealed Plan No. 141878
C583445 TRANSFER of EASEMENT BURDENING EASEMENT: Right of
drainage for Southern Midlands Council over the
Drainage Easement 2.00 wide shown on Plan No. 141879
Registered 24-Sep-2004 at noon

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

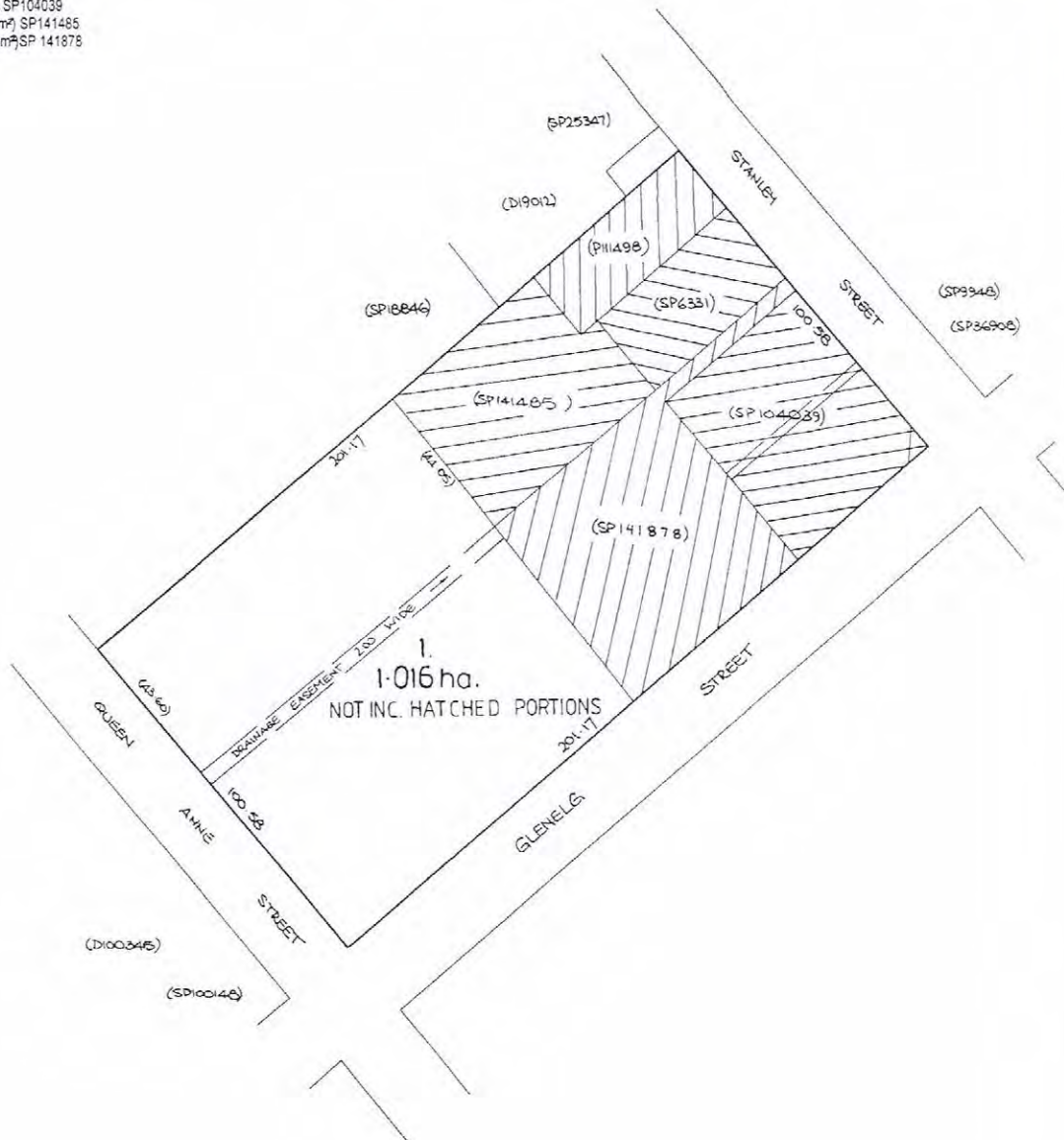
OWNER	PLAN OF TITLE LOCATION TOWN OF OATLANDS	REGISTERED NUMBER P141879
FOLIO REFERENCE C.T. 107845/4 C.T. 141486/1		APPROVED 24 SEP 2004 <i>Alice Kawa</i> Recorder of Titles
GRANTEE	CONVERTED BY PLAN No D105881 COMPILED BY Brooks Lark & Carrick 175 Collins Street Hobart Tel: 62311333 NOT TO SCALE LENGTHS IN METRES	

MAPSHEET MUNICIPAL CODE No 125 (5231-33)	LAST UPI No 2501545	LAST PLAN P12184P107845	ALL EXISTING SURVEY NUMBERS TO BE CROSS REFERENCED ON THIS PLAN
---	------------------------	----------------------------	--

SKETCH BY WAY OF ILLUSTRATION ONLY

BALANCE PLAN

EXCEPTED LANDS
LOTS 1, 2 & 3 (2425m²) SP104039
PART OF LOT 1 (2304m²) SP141485
PART OF LOT 1 (3218m²) SP 141878



18.08.2023

To The General Manager
Southern Midlands Council
Re application DA SA2200005
Planning Application for 14 Queen Anne Street

We are writing as the owners, Our
property shares a rear boundary with 14 Queen Anne Street and we are
concerned that the development application submitted for that site, if passed
as is, will have a negative effect on the value of our property.

Our significant issues are as follows:

- 1) There is capacity for 14 dwellings to be build on this single block. This is very high density building on a block of this size. It will more than double the number of households in Queen Anne street which is currently a quiet dead-end street. The environmental impact of such intensive housing, with fourteen separate households and associated noise, traffic flow and household activity, has the potential to negatively effect our lifestyle and well-being.
- 2) Oatlands prides itself on being a village of noteworthy Georgian architecture, unique in Australia. Preserving the architectural value of Oatlands heritage buildings should be a high priority for Council and every effort should be made to ensure the street appeal of this town is maintained. is a heritage building that has achieved national and international acclaim and has been featured in numerous national and international architectural and

design publications¹ as well as winning several state and national architectural awards.² It attracts frequent visitors/tourists who are interested in heritage architecture in Oatlands. This property may have its heritage value negatively impacted by a crowded suburban development on its perimeter, especially if the design and architectural quality is not compatible with this property. This may significantly affect the appeal of Oatlands as a heritage village in the long term; and

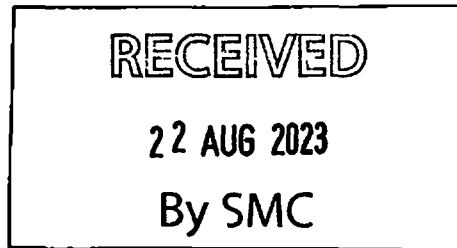
- 3) There are currently significant water drainage issues related to flooding

We require a guarantee from council that the proposed development would not exacerbate an already potentially problematic storm water flow issue for our property and the surrounding area. There's a need for greater detail regarding where storm water currently flowing through this lot will be directed.

Looking forward to your response,

¹ *The World of Interiors*, January 2022; Natalie Walton, 2022, *Style - The Art of Creating a Beautiful Home*; Joan-Maree Hargreaves and Marita Bullock, 2022, *Tasmania Living*; Flora Samuel, 2023, *Housing for Hope and Well-being*

² Winner of the 2020 Tasmania Institute of Architects Roy Sharrington-Smith award for Tasmanian heritage architecture; the 2020 Australian Institute of Architects Lachlan Macquarie Award for Australian heritage architecture; and the 2023 Tasmanian Institute of Architects' Henry Hunter triennial prize for the re-cycling or conservation of existing buildings.



Southern Midlands Council
The General Manager
71 High Street
Oatlands TAS 7120

Dear Sir

RE: SA2200005 Sub-division 14 Lots & Balance
Address: 14 Queen Anne Street, Oatlands

I would like the council to consider the following issues regarding the above proposed sub-division application.

Firstly, I fully support the sub-division of Lot 14 Queen Anne Street, Oatlands but hope the council and planning authority include conditions that cover my concerns regarding the application.

- 1) From the little information provided with the advertisement, it is unclear whether the current Glenelg Street reserve between Stanley Street and Queen Anne Street will be bitumised or not. As there is a new road being created within the proposed sub-division, I feel it would be compulsory that this portion of Glenelg Street be bitumised as part of the sub-division conditions and works.
- 2) As Council would be aware, Glenelg Street road reserve between Queen Anne Street and Tunnack Road floods regularly down on to Queen Anne Street causing potholes and minor flooding. I believe the sub-division approval should include addressing this issue at the same time as the sub-division works.
- 3) As council would be aware there are only street lights on the first two lamp posts in Queen Anne Street with no further lighting down the street. There are a further five lamp posts in the street without any lighting. It is a black hole. At the least a condition of this sub-division approval should include street lighting at the new intersections created by the sub-divisional street and especially at the corner of the new intersection created at Queen Anne Street and Glenelg Street. I feel this is a basic safety requirement.
- 4) As council would be aware, currently there are at least four or five school age or younger children living towards the end of Queen Anne Street and no doubt if this sub-divisional application is approved, more children would be moving into this sub-division, are any footpath provisions being considered? In addition, several aged residents walk Queen Anne Street regularly and are required to walk on the roadway due to the unlevel verges either side of this street. Could a pathway be constructed at

the same time as the sub-divisional works? With extra traffic being created by the new homelots pedestrian safety is a concern.

In addition to making this submission, I would like to make a deputation and address the council at the meeting this application will be considered.

Yours faithfully

To the General Manager;

I] object to the proposed development at 14 Queen Anne Street Oatlands.

Reason being,

This will make extra traffic and traffic noise in Queen Anne Street. Queen Anne Street is not developed or wide enough to accommodate this extra traffic. With this proposed Development there will also be extra noise in the area, and this will make me feel like I'm living in a built up area, Not Semi Rural as I have been living comfortably.

This proposed development also will affect my safety in and out access of the driveway to my residence, because the access to proposed development is very near and this will be alot more busier than it usually is with the extra traffic.

I feel my independence will also be compromised when I go for a walk in Queen Anne Street, because as now I have to walk on the road because there is no footpaths and with the extra traffic in the street this scares me. I want to comfortably keep walking and getting exercise, but for safety reasons I'm worried this might stop me from walking independently.

I live in Queen Anne Street because I love the country atmosphere and this proposed development will compromise my landscape view.

I chose to not live in suburbia.

Yours Sincerely

To the
General Manager SMC.

I would like to make representations re the the development at 14 Queen Anne St Oatlands..

Blocks of 530 sm are very small for a regional town. 14 Blocks in 3 acres. Higher density must lead to traffic increases and safety issues in a small street.

Other concerns such as outdated plans and storm water problems have been addressed by council discussions.

Thank you

18.08.2023

To The General Manager
Southern Midlands Council
Re application DA SA2200005
Planning Application for 14 Queen Anne Street

Prefacing this representation we want to stress that we are concerned the council processes for the development application SA220005 have been flawed and have contributed to significant confusion related to making our response to the application. Our first representation to council was informed by the wrong water management plan and consequently a second representation was required.

In the letter re-advertising the development application SA220005 the wrong date for representations to be sent to the council was printed. After talking with a council officer about this error yet another re-advertising letter was received. As the owners/occupiers of 15 Marlborough Street, a property sharing a boundary with 14 Queen Anne Street we request the council review the advertising and information processes related to this development application considering how this sequence of errors has rendered the development of a response to the application unduly difficult. We suggest that flaws in the

council's advertising may have contravened the *Land Use Planning & Approvals Act 1993* and thus may have rendered the development application invalid.

we

are concerned that the development application SA220005, if passed as is, will have a negative effect on the value of our property.

Our significant issues are as follows:

- 1) There is capacity for 14 dwellings to be build on this single block. This is very high density building on a block of this size. It will more than double the number of households in Queen Anne street which is currently a quiet dead-end street. The environmental impact of such intensive housing, with fourteen separate households and associated noise, traffic flow and household activity, has the potential to negatively effect our safety, lifestyle and well-being.
- 2) Oatlands prides itself on being a village of noteworthy Georgian architecture, unique in Australia. Preserving the architectural value of Oatlands heritage buildings should be a high priority for Council including those heritage houses outside the designated heritage zoning. Every effort should be made to ensure the unique street appeal of this town is maintained. Bozen's Cottage (15 Marlborough Street) is a heritage building that has achieved national and international acclaim and has been featured in numerous national and international architectural and design publications¹ as well winning several state and national architectural awards.² It

attracts frequent visitors/tourists who are interested in heritage architecture in Oatlands. This property may have its heritage value negatively impacted by a crowded suburban development on its perimeter, especially if the design and architectural quality is not compatible with this property. This may significantly affect the appeal of Oatlands as a heritage village in the long term; and

3) There are currently significant water drainage issues related to flooding through 15 Marlborough Street. We require a guarantee from council that the proposed development would not exacerbate an already potentially problematic storm water flow issue for our property and the surrounding area. There's a need for greater detail regarding where storm water currently flowing through this lot will be directed.

Looking forward to your response,

¹ *The World of Interiors*, January 2022; Natalie Walton, 2022, *Style - The Art of Creating a Beautiful Home*; Joan-Maree Hargreaves and Marita Bullock, 2022, *Tasmania Living*; Flora Samuel, 2023, *Housing for Hope and Well-being*

² Winner of the 2020 Tasmania Institute of Architects Roy Sharington-Smith award for Tasmanian heritage architecture; the 2020 Australian Institute of Architects Lachlan Macquarie Award for Australian heritage architecture; and the 2023 Tasmanian Institute of Architects' Henry Hunter triennial prize for the re-cycling or conservation of existing buildings.

Submission to Planning Authority Notice

Council Planning Permit No.	SA 2022 / 000051	Council notice date	8/03/2022
TasWater details			
TasWater Reference No.	TWDA 2022/00331-STM	Date of response	10/03/2022
TasWater Contact	David Boyle	Phone No.	0436 629 652
Response issued to			
Council name	SOUTHERN MIDLANDS COUNCIL		
Contact details	mail@southernmidlands.tas.gov.au		
Development details			
Address	14 QUEEN ANNE ST, OATLANDS	Property ID (PID)	2538947
Description of development	14 Lot Subdivision		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
NTCADS Pty Ltd	332.37-C02 / Civil Services	A	4/03/2022
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized water supply with metered connections and sewerage system and connections to each lot of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. <p>ASSET CREATION & INFRASTRUCTURE WORKS</p> <ol style="list-style-type: none"> 4. The developer must design and construct a well looped water reticulation system, this will include upgrading the existing DN63 (Asset number: A506063) from the Queen Anne St and Glenelg St (Unmade) intersection to the new road intersection in Glenelg St (Unmade) to TasWater's satisfaction. 5. Plans submitted with the application for Engineering Design Approval must, to the satisfaction of TasWater show, all existing, redundant and/or proposed property services and mains. 6. Prior to applying for a Permit to Construct, to construct new infrastructure the developer must obtain from TasWater Engineering Design Approval for new TasWater infrastructure. The application for Engineering Design Approval must include engineering design plans prepared by a suitably qualified person showing the hydraulic servicing requirements for water and sewerage to TasWater's satisfaction. 7. Prior to works commencing, a Permit to Construct must be applied for and issued by TasWater. All 			

infrastructure works must be inspected by TasWater and be to TasWater's satisfaction.

8. In addition to any other conditions in this permit, all works must be constructed under the supervision of a suitably qualified person in accordance with TasWater's requirements.
9. Prior to the issue of a Consent to Register a Legal Document all additions, extensions, alterations or upgrades to TasWater's water and sewerage infrastructure required to service the development, are to be completed generally as shown on, and in accordance with, the plans listed in the schedule of drawings/documents, and are to be constructed at the expense of the developer to the satisfaction of TasWater, with live connections performed by TasWater.
10. After testing/disinfection, to TasWater's requirements, of newly created works, the developer must apply to TasWater for connection of these works to existing TasWater infrastructure, at the developer's cost.
11. At practical completion of the water and sewerage works and prior to TasWater issuing a Consent to a Register Legal Document, the developer must obtain a Certificate of Practical Completion from TasWater for the works that will be transferred to TasWater. To obtain a Certificate of Practical Completion:
 - a. Written confirmation from the supervising suitably qualified person certifying that the works have been constructed in accordance with the TasWater approved plans and specifications and that the appropriate level of workmanship has been achieved;
 - b. A request for a joint on-site inspection with TasWater's authorised representative must be made;
 - c. Security for the twelve (12) month defects liability period to the value of 10% of the works must be lodged with TasWater. This security must be in the form of a bank guarantee;
 - d. Work As Constructed drawings and documentation must be prepared by a suitably qualified person to TasWater's satisfaction and forwarded to TasWater.
12. After the Certificate of Practical Completion has been issued, a 12 month defects liability period applies to this infrastructure. During this period all defects must be rectified at the developer's cost and to the satisfaction of TasWater. A further 12 month defects liability period may be applied to defects after rectification. TasWater may, at its discretion, undertake rectification of any defects at the developer's cost. Upon completion, of the defects liability period the developer must request TasWater to issue a "Certificate of Final Acceptance". The newly constructed infrastructure will be transferred to TasWater upon issue of this certificate and TasWater will release any security held for the defects liability period.
13. The developer must take all precautions to protect existing TasWater infrastructure. Any damage caused to existing TasWater infrastructure during the construction period must be promptly reported to TasWater and repaired by TasWater at the developer's cost.
14. Ground levels over the TasWater assets and/or easements must not be altered without the written approval of TasWater.

FINAL PLANS, EASEMENTS & ENDORSEMENTS

15. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for sealing is made.
Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.

16. Pipeline easements and/or lots, to TasWater’s satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater’s standard pipeline easement conditions and/or lot creation requirements.

DEVELOPMENT ASSESSMENT FEES

17. The applicant or landowner as the case may be, must pay a development assessment fee of \$699.36 and a Consent to Register a Legal Document fee of \$154.42 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

18. In the event Council approves a staging plan, a Consent to Register a Legal Document fee for each stage, must be paid commensurate with the number of Equivalent Tenements in each stage, as approved by Council.

Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Declaration

The drawings/documents and conditions stated above constitute TasWater’s Submission to Planning Authority Notice.

Authorised by



Jason Taylor
Development Assessment Manager

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

OWNER:
W W TAS PTY LTD

TITLE REFERENCE:
FR 135416/1

LOCATION:
17 OAKWOOD PL MANGALORE TAS 7030

Peter Binny Surveys
12 RADA RD KETTERING 7155
Mobile 0419 368 180
email russell@peterbinnysurveys.com.au

Land situated in the
LAND DISTRICT OF MONMOUTH
PARISH OF STRANGFORD

Scale 1:1500 (A3) MEASUREMENTS IN METRES

PLAN OF SUBDIVISION

-Rev07 Date: 10/01/2023

This plan is for the purpose of obtaining planning approval only & is for the sole use of the named owners. The contours are approximate only and suitable only for the purpose of obtaining planning approval.

Dimensions and areas are subject to final survey
Surveyors Ref:22096





BUSHFIRE HAZARD ASSESSMENT REPORT

PROPOSED 3 LOT SUBDIVISION
17 OAKWOOD PLACE,
MANGALORE

Dated **September 2023 Rev 3**

Report by Samuel Walters BFP-130

Report Code: A22-17

**Bushfire
Tasmania**

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APPENDICES

Appendix A – Site Photographs
Appendix B – Subdivision Plans
Appendix C – Bushfire Hazard Management Plan

1. Report Summary

The purpose of this report is to provide a Bushfire Hazard Management Plan (BHMP) and Bushfire Attack Level (BAL) assessment in compliance with the Tasmania Planning Scheme – State Planning Provisions 2023 and Australian Standard 3959 2018 (incorporating Amendments 1 & 2) in relation to a 3 lot subdivision at 17 Oakwood Place, Mangalore (C.T 135416/1) creating 3 lots all approximately 1 hectare in size.

Our findings conclude that the potential bushfire hazard risk for the proposal is tolerable providing the recommendations and findings of this report are followed and implemented in accordance with Tasmania Planning Scheme – State Planning Provisions 2023 and Australian Standard 3959 2018 (incorporating Amendments 1 & 2).

C13.6.1 A1(b) in Tasmania Planning Scheme – State Planning Provisions 2023 states that the deemed to satisfy solution is to achieve a minimum BAL-19 outcome for building areas.

Bushfire-prone vegetation that poses the greatest threat is C. Shrubland and G. Grassland.

Hazard management areas (HMA's) are needed to satisfy minimum separation distances on each lot. These setbacks vary depending on the lot and vegetation assessed.

New buildings constructed within proposed building area's (BA's) will comply with requirements for a BAL-19 compliant building solution and will be approved at the time of subdivision.

There is the option for any dwelling on each lot to achieve BAL-12.5 with increased separation. HMA's on each lot may be reduced in size to the specific separation distances surrounding any proposal once the final dwelling location is known.

New property access on lot 1 will depend in final dwelling location. If >30m and <200m in length and provides access to a static firefighting water supply point, it must comply with Table C13.2 (B) in Tasmania Planning Scheme – State Planning Provisions 2023.

Proposed right of way property access to lots 2 and 3 must comply with Table C13.2 (C) in Tasmania Planning Scheme – State Planning Provisions 2023. This is considered continuous from Oakwood Place through lot 1 to lots 2 and 3 and as such property access is >200m in length and provides access to a static firefighting water supply point. A passing bay is required on lot 1, preferably as close as practical to lots 2 and 3.

Proposed habitable dwellings within building areas on lots 2 and 3 will require a static water supply in accordance with C13.6.3 A2(b)(c) and Table C13.5 in Tasmania Planning Scheme – State Planning Provisions 2023.

If any dwelling on lot 1 is within a 120m hose to the furthest part of dwelling from closest fire hydrant on Oakwood Place, it will comply with C13.6.3 A1(b)(c) and Table C13.4 in Tasmania Planning Scheme – State Planning Provisions 2023. If >120m a static water supply will be required as per C13.6.3 A2(b)(c) and Table C13.5.

2. Introduction

2.1. The Proposal

The proposal involves a 3 lot subdivision at 17 Oakwood Place, Mangalore (C.T 135416/1). Lots range in size from 1 hectare to 1.032 hectares.

2.2. Scope of Report

Bushfire Tasmania was engaged by WW Tas Pty Ltd to undertake a Bushfire Hazard Management Plan (BHMP) and BAL assessment for planning approval for a 3 lot subdivision to determine vegetation management requirements, firefighting water supply requirements, site access requirements and construction requirements to comply with Tasmania Planning Scheme – State Planning Provisions 2023 and Australian Standard 3959 – Construction of Buildings in Bushfire Prone Areas 2018 (incorporating Amendments 1 & 2).

The proposal is assessed in accordance with Tasmania Planning Scheme – State Planning Provisions 2023, specifically C13.6.1 A1(b), C13.6.2 A1(b), Table C13.2, C13.6.3 A1(b)(c), Table C13.4, C13.6.3 A2(b)(c), Table C13.5 as well as Australian Standard 3959 – Construction of Buildings in Bushfire Prone Areas 2018 (incorporating Amendments 1 & 2). The site is assessed to a Fire Danger Index (FDI) of 50.

2.3. Property Information

Address: 17 Oakwood Place, Mangalore

Zoning: Rural Living Zone A

Municipality: Southern Midlands

Planning Scheme: Tasmanian Planning Scheme Southern Midlands

2.4. Planning Overlays

Based on the Southern Midlands Local Provisions Schedule:

- Bushfire Prone Areas
- Natural Assets Code – Priority Vegetation Area

3. Site Conditions and Observations

3.1. Site Description

The subject property is located on the eastern side of Oakwood Place, on low lying foothills between Lackeys Hill and Winton Hill on the south western side of Mangalore.

Topography varies over the proposal with very gentle slopes along the Midland Highway steepening to higher elevations to the west and a depression with watercourse between. Slopes range from 1-4 degrees by the Midland highway to 5-15 degrees on slopes either side of the watercourse.

Vegetation ranges from grassland to shrubland.

The property abuts the Midland Highway but relatively untouched on the upper slopes.



Figure 1: contoured listmap. www.thelist.tas.gov.au Subject property and proposed lot structure outlined in blue with proposed building areas in orange. Fire hydrants are yellow squares.

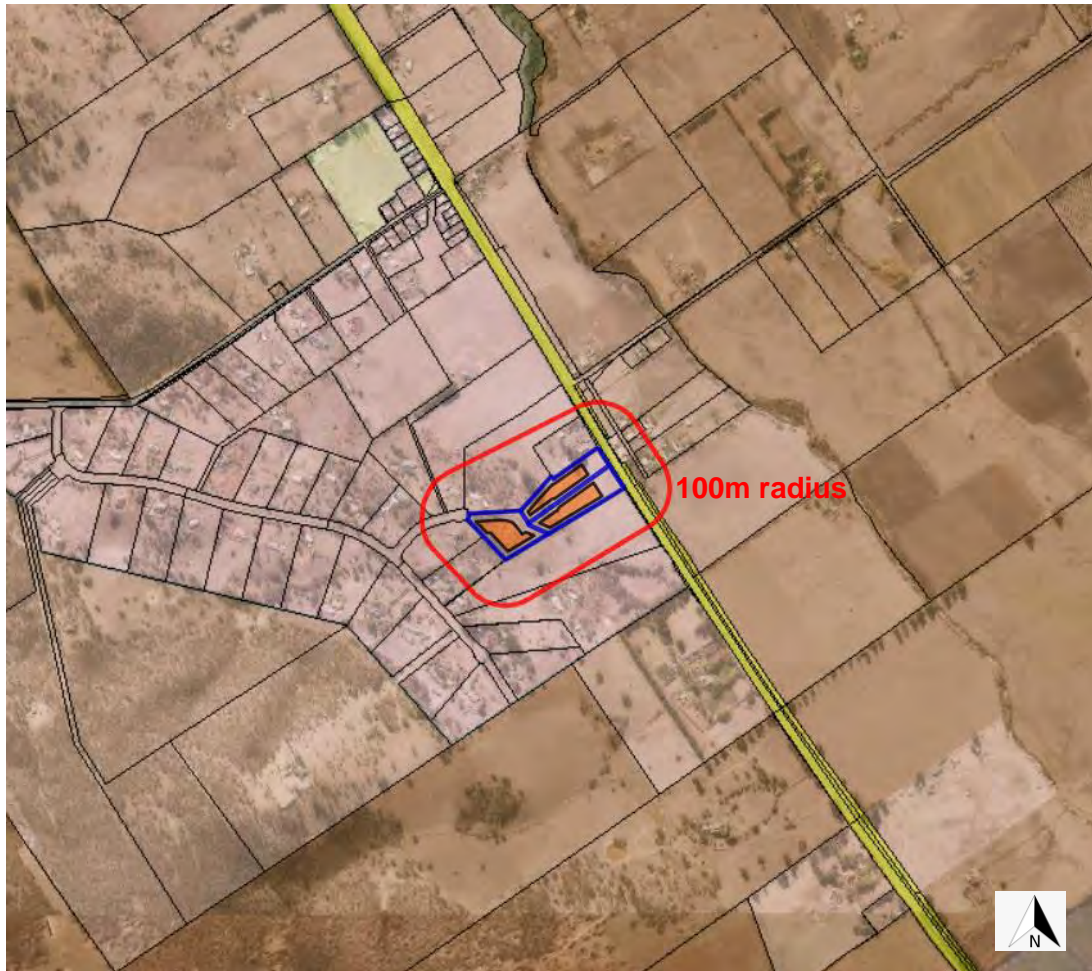


Figure 2: contoured listmap. www.thelist.tas.gov.au Subject property and proposed lot structure outlined in blue with proposed building areas in orange. Shows site situated in Rural Living Zone A zoning.

3.2. Surrounding Area

The subject site is located in a rural living zone A zoned area. This zoning includes properties to the north, west and southern aspects for at least several hundred meters.

Properties to the north west, west and south west within this zone are similar to the lot size and use of the intended 7 lots of this proposal. They are developed with dwellings and outbuildings and typically are surrounded by managed gardens and grassland. Larger lots within this zone to the north east and south east (including the subject sites) are have considerable more unmanaged grassland and shrubland with some remnant and regenerating Eucalypts.

Properties to the east along the Midland Highway are zoned rural before changing to agriculture further to the east as well as south. These all consist of grassland and cropping.

Rural zoning further to the west, approximately 200m from the proposal are large lots with continuous woodland and forest vegetation with some development.

Figure 3 below gives the TasVeg4.0 listmap of the area.

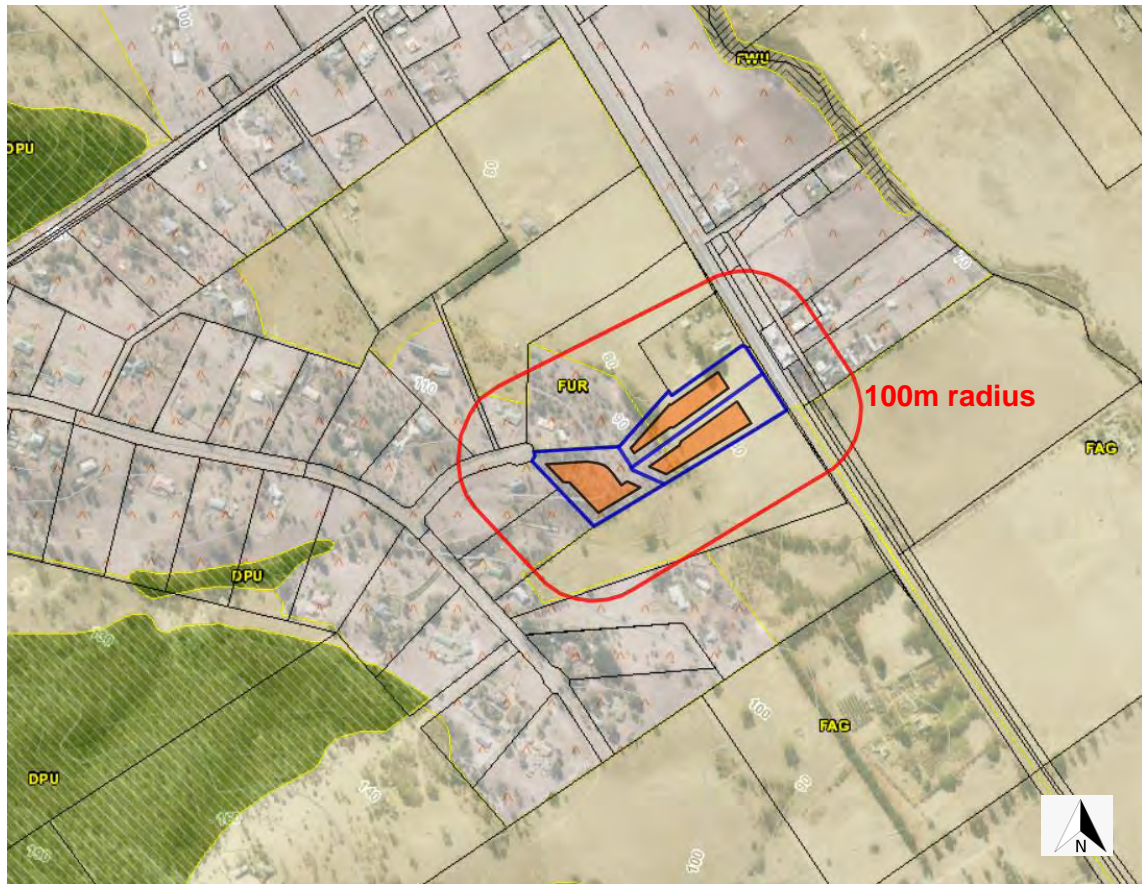


Figure 3: contoured TasVeg4.0 listmap. www.thelist.tas.gov.au Subject property and proposed lot structure outlined in blue with proposed building areas in orange.



Figure 4: contoured TasVeg4.0 listmap. www.thelist.tas.gov.au Property outline in blue, proposed building areas in orange. Brown shading indicates shrubland bushfire prone vegetation within 100m of proposal and yellow shading grassland.

3.3. Additional Information

Subdivision not expected to be staged.

Tasmanian planning scheme code overlay shows the site within a Natural Assets Code - Priority Vegetation Area (green outline and hashing). See figure 5 below.

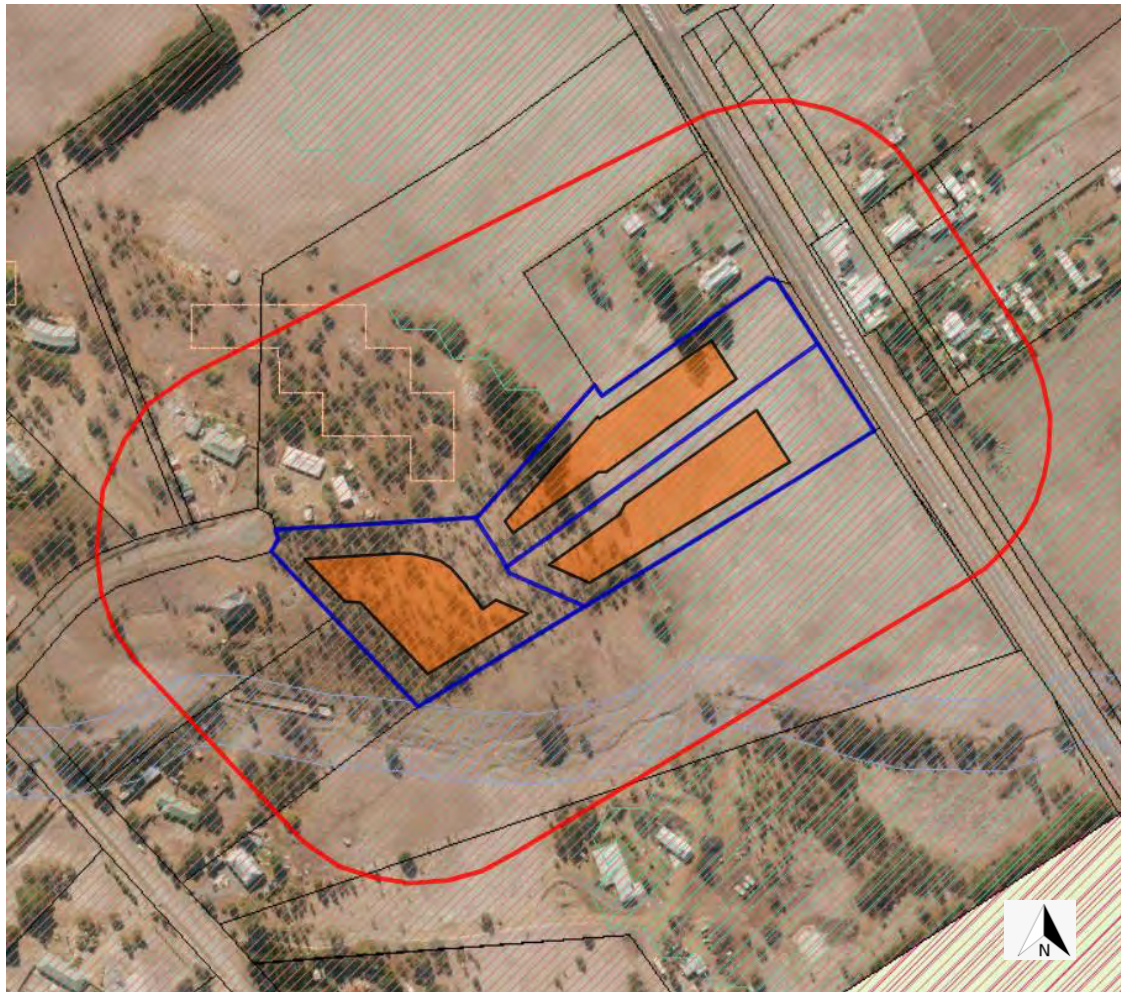


Figure 5: contoured TasVeg4.0 listmap. www.thelist.tas.gov.au Property outline in blue, proposed building areas in orange.

There has been bushfire activity on and surrounding the site. According to the list fire history overlay, the latest fire to impact the proposal and surrounds were the widespread and notorious 1966-1967 bushfires.

A smaller but close fire to the south in 2015 was the result of an accidental escape.

See Figure 6 below for the closest fire events on a listmap.

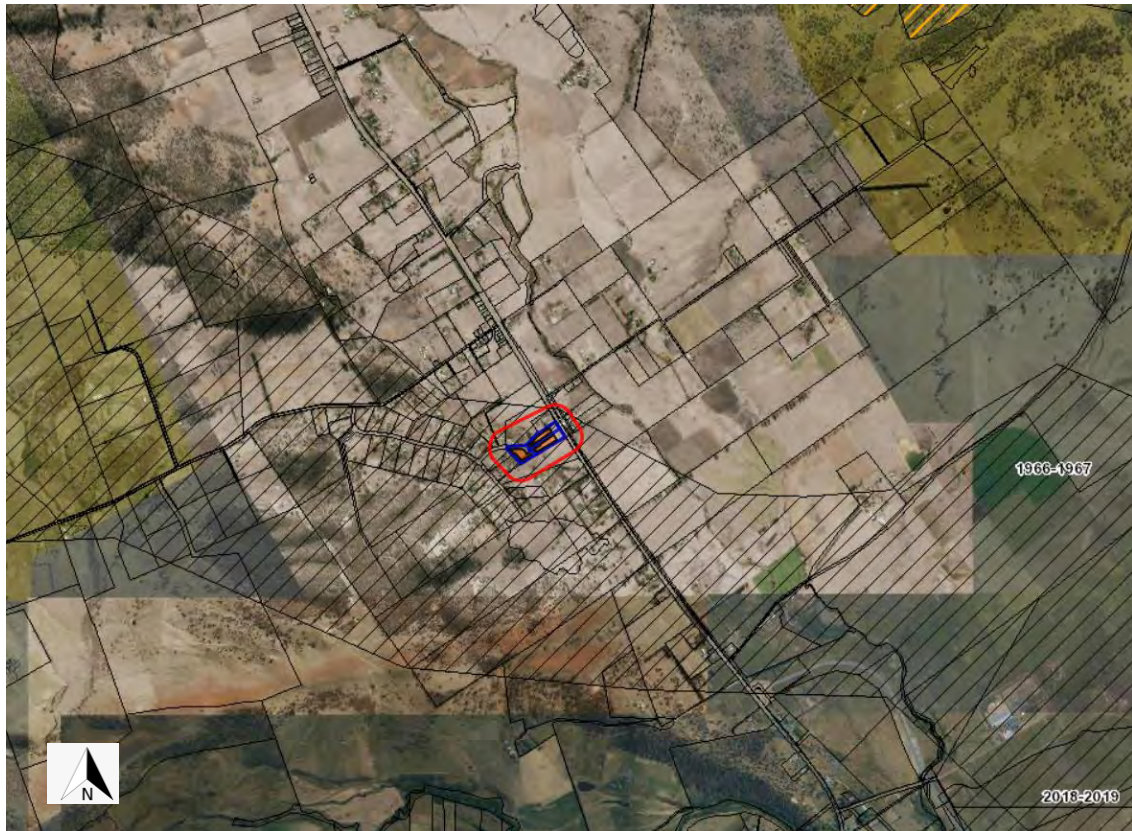


Figure 6: Fire History listmap. www.thelist.tas.gov.au Subject property outline in blue, fire events denoted by hashed areas with dates inserted.

4. Bushfire Attack Level Assessment

4.1. Vegetation

According to TasVeg4.0, the proposal is shown to be situated on vegetation classified as (FAG) agricultural land and (FUR) urban areas, split 50/50. This appears accurate with grassland and grazing land on the (FAG) classification closer to the Midland Highway.

The up-slope half of closer to Oakwood Place seems inaccurate given the shrubland vegetation currently.

Shrubland vegetation is prevalent over the middle northern sections as well as land to the north and south west of 17 Oakwood Place. The density and type of shrubs are all very consistent with the exception of some scattered large *Macrocarpa* pines.

Grassland makes up a significant portion of vegetation on the proposal and adjoining, to the north and south.

Fire Behaviour

Fire behaviour suggests that threats to building areas on all lots would stem from a combination of:

- potentially fast-moving grass fires beneath canopy and through shrubby and grass vegetation, fanned by winds from all directions. Resulting impact may be head fires or flanking fires depending on the direction and slope – which is varied. Ember attack would impact sites based on implementation of HMA's. Without HMA's, flame contact may result.

All lots would likely experience ember attack and spot fires. Spot fires may be unpredictable/erratic depending on wind conditions.

The following table gives the predominant vegetation types for ground cover, middle growth and canopy for the surrounding area within 150m of building areas for each lot:

Table 1: Lots 1, 2, 3. Shrubland and grassland.

Vegetation Height	Species
Canopy	Occasional <i>Cupressus macrocarpa</i> (Macrocarpa Pine)
Middle Growth	<i>Acacia mearnsii</i> (Black Wattle) <i>Bursaria spinosa</i> (Prickly Box)
Ground Cover	Assorted native and introduced pasture species Assorted weed species

Bushfire prone vegetation is assessed as C. Shrubland and G. Grassland.

See photographs in appendix A for an indication of the surrounding vegetation.

4.2. Slope

Effective slopes beneath down-, across- and up-slope grassland and shrubland bushfire prone vegetation ranges between approximately 1-13° with aspects ranging from northerly to easterly to southerly.

4.3. Separation Distances

Refer to Tables 2-5 indicating the minimum defendable space distances required from bushfire prone vegetation in order to achieve BAL-19 and/or BAL-12.5 for each lot.

Note: G = Grassland and C = Shrubland.

Table 2: Defendable Space Table for building area on lot 1

	North	North East	East	South East
Vegetation Type	C. Shrubland	C. Shrubland	C. Shrubland	G. Grassland
Surrounding land relative to site	Down-slope 5-10°	Down-slope 10-15°	Down-slope 5-10°	Down-slope 5-10°
Minimum Defendable Space Required to achieve BAL-12.5	≥25m	≥28m	≥25m	≥19m
Minimum Defendable Space Required to achieve BAL-19	≥17m	≥19m	≥17m	≥13m
Defendable Space achieved with HMA	30m	28m	17m or 25m	13m or 19m

Table 3: Defendable Space Table for building area on lot 1

	South	South West	West	North West
Vegetation Type	G. Grassland	C. Shrubland	G. Grassland	C. Shrubland
Surrounding land relative to site	Down-slope 5-10°	Down-slope 10-15°	Down-slope 0-5°	Up-slope / Across/flat
Minimum Defendable Space Required to achieve BAL-12.5	≥19m	≥25m	≥16m	≥19m
Minimum Defendable Space Required to achieve BAL-19	≥13m	≥17m	≥11m	≥13m
Defendable Space achieved with HMA	13m or 19m	17m or 25m	11m or 16m	>19m

Table 4: Defendable Space Table for building area on lot 2

	North West	North East	South East	South West
Vegetation Type	G. Grassland C. Shrubland	G. Grassland	G. Grassland	C. Shrubland
Surrounding land relative to site	Up-slope / Across/flat	Down-slope 0-5°	Up-slope / Across/flat	Up-slope / Across/flat
Minimum Defendable Space Required to achieve BAL-12.5	G: ≥14m C: ≥19m	≥16m	≥14m	≥19m
Minimum Defendable Space Required to achieve BAL-19	G: ≥10m C: ≥13m	≥11m	≥10m	≥13m
Defendable Space achieved with HMA	G: 10m,14m C: 13m,19m	11m or 16m	10m or 14m	13m or 19m

Table 5: Defendable Space Table for building area on lot 3

	North West	North East	South East	South West
Vegetation Type	G. Grassland C. Shrubland	G. Grassland	G. Grassland	G. Grassland
Surrounding land relative to site	Up-slope / Across/flat	Down-slope 0-5°	Up-slope / Across/flat	Up-slope / Across/flat
Minimum Defendable Space Required to achieve BAL-12.5	G: ≥14m C: ≥19m	≥16m	≥14m	≥14m
Minimum Defendable Space Required to achieve BAL-19	G: ≥10m C: ≥13m	≥11m	≥10m	≥10m
Defendable Space achieved with HMA	G: 10m,14m C: 13m,19m	11m or 16m	10m or 14m	10m or 14m

All separation distances are in accordance with Table 2.6 in AS3959 2018 and apply as per the HMA's set out in the BHMP (see appendix C).

Implementation and ongoing maintenance of these separation distances and subsequent HMA's allows for:

- A BAL-19 compliant building solution on all aspects for any building within building areas on all lots. BAL-12.5 is achievable on each lot as long as minimum separation distances are adhered to as outlined in Tables 2-5.
- HMA's can be reduced in size to separation distances required for the specific dwelling location once finalised.

4.4. BAL

Based on all the assessed variables, BAL ratings can be seen in Table 6 for each lot. This in accordance with Table 2.6 of AS3959 2018. Table 3.1 of AS3959, 2018 (incorporating Amendments 1 & 2) describes BAL-19 and BAL-12.5:

Table 6: Lots 1,2,3 Building Area BAL ratings with either BAL-12.5 or BAL-19 HMA in place

Bushfire Attack Level (BAL)	Heat flux exposure thresholds for classified vegetation within 100m of site	Predicted bushfire attack and levels of exposure	Construction Sections
LOTS 1, 2, 3 BAL - 12.5	$\leq 12.5 \text{ kW/m}^2$	Ember attack	3 & 5
LOTS 1, 2, 3 BAL - 19	$> 12.5 \text{ kW/m}^2$ $\leq 19 \text{ kW/m}^2$	Increasing ember attack & burning debris ignited by windborne embers together with increasing heat flux	3 & 6

5. Bushfire Hazard Management Objectives

5.1. Hazard Management Areas

The purpose of hazard management areas (HMA) is to provide a vegetation buffer in order to reduce fuel loads to a manageable level and aid in preservation of life and property. HMA's can be vegetated but in a manner that does not facilitate fire spread and helps occupants and/or firefighters to control fire activity (where possible) within the HMA.

However, HMA's are not intended as fail safe, they are highly dependent on the prevailing weather and fire conditions on the day as well as to what degree they are maintained (measured against clause 2.2.3.2 of AS3959 2018).

All HMA's on each lot have been assessed and designed in line with C13.6.1 A1(b) in Tasmania Planning Scheme – State Planning Provisions 2023.

2 HMA's have been issued for each building area to give options to build to BAL-19 or BAL-12.5. These HMA's can be refined and reduced in size to encompass the specific dwelling location once finalised.

All Lots:

To satisfy HMA vegetation requirements, grass must be regularly mown to a nominal 100mm or less height (AS3959 2018 clause 2.2.3.2(f)). Some existing trees >4m in height may be retained but to lower 2m is to be trimmed and maintained. Existing shrubs / small trees <4m in height require removal / thinning in line with clause 2.2.3.2 and general vegetation information below. Any retained trees 2-4m in height should have the lower 1m trimmed and managed.

General Vegetation Management Information:

Vegetation may be planted within the HMA but must satisfy low threat conditions in accordance with AS3959 2018 clause 2.2.3.2(d)(e)(f). Any building refers to a class 1a or class 10a within 6m of a class 1a.

Shrubs <0.5m in height may be planted not within 1.5m of any building.

Vegetation 0.5-1m in height may be planted either individually or in single rows with spacing between foliage of a minimum 2m and not within 3m of any building.

Shrubs up to 2m in height can be planted either individually or in single rows but must be spaced with a minimum 6m between foliage and not within 6m of any building.

Large plants 4m or more in height can be planted but low and mid-level growth up to 2m in height to be trimmed and maintained over time with minimum spacing between crowns of 20m.

Vegetation 2m or more in height should not be planted within 10m of any building.

All new vegetation 1-4m in height should be spaced from large vegetation (>4m) at least 8m from tree crown (measured vertically).

Future plantings/landscaping should be planned with this in mind and be appropriately managed. We recommend plants of low flammability, such as – but not limited to – those in the Tasmania Fire Service booklet *Fire Resisting Garden Plants for the urban fringe and rural areas*, 2017.

It is recommended owners refer to the TFS guidelines for HMA's contained within the Building for Bushfire Booklet dated June 2020 at www.fire.tas.gov.au.

5.2. Roads and Property Access

Roads and property site access is important for firefighting services in order to enter and exit the property under all circumstances, especially threatening and potentially dangerous conditions. There are certain design parameters that must be met to allow safe vehicle and foot access by firefighters and emergency services.

If property access to lot 1 is >30m and <200m in length and provides access to a static firefighting water supply point, it must comply with Table C13.2 (B) in Tasmania Planning Scheme – State Planning Provisions 2023.

Lot 1 site access length and type will depend on whether the final dwelling location meets the minimum 120m hose length from the reticulated fire hydrant on Oakwood Place. If this is satisfied to the furthest part of any class 1a proposal, there will be no requirement for site access and will be deemed to comply with Table C13.2 (A) in Tasmania Planning Scheme – State Planning Provisions 2023.

Proposed right of way property access to lots 2 and 3 must comply with Table C13.2 (C) in Tasmania Planning Scheme – State Planning Provisions 2023. This is considered continuous from Oakwood Place through lot 1 to lots 2 and 3 and as such property access is >200m in length and provides access to a static firefighting water supply point. A passing bay is required on lot 1, preferably as close as practical to lots 2 and 3.

Due to potentially moderately sloped land and in order for site access's to be compliant, significant bulk earth works may be required. Civil design will address these requirements and site construction/site preparation must ensure these specifications are met.

See Table C13.2 on following page:

Table C13.2: Standards for Property Access

Element		Requirement
A.	Property access length is less than 30m; or access is not required for a fire appliance to access a fire fighting water point.	There are no specified design and construction requirements.
B.	Property access length is 30m or greater; or access is required for a fire appliance to a fire fighting water point.	<p>The following design and construction requirements apply to property access:</p> <ul style="list-style-type: none"> (a) all-weather construction; (b) load capacity of at least 20t, including for bridges and culverts; (c) minimum carriageway width of 4m; (d) minimum vertical clearance of 4m; (e) minimum horizontal clearance of 0.5m from the edge of the carriageway; (f) cross falls of less than 3 degrees (1:20 or 5%); (g) dips less than 7 degrees (1:8 or 12.5%) entry and exit angle; (h) curves with a minimum inner radius of 10m; (i) maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and (j) terminate with a turning area for fire appliances provided by one of the following: <ul style="list-style-type: none"> (i) a turning circle with a minimum outer radius of 10m; or (ii) a property access encircling the building; or (iii) a hammerhead "T" or "Y" turning head 4m wide and 8m long.
C.	Property access length is 200m or greater.	<p>The following design and construction requirements apply to property access:</p> <ul style="list-style-type: none"> (a) the requirements for B above; and (b) passing bays of 2m additional carriageway width and 20m length provided every 200m.
D.	Property access length is greater than 30m, and access is provided to 3 or more properties.	<p>The following design and construction requirements apply to property access:</p> <ul style="list-style-type: none"> (a) complies with requirements for B above; and (b) passing bays of 2m additional carriageway width and 20m length must be provided every 100m.

5.3. Water Supply for Firefighting

The ability for firefighters and occupants alike to have easy and safe access to a firefighting water supply point is paramount. Water supply points and fire hydrants (whether on the subject property or along public streets and roads) must be visible and positioned to allow easy/safe approach. Static (unreticulated) water supply points must be clearly labelled with water signage.

Proposed habitable dwellings within building areas on lots 2 and 3 will require a static water supply in accordance with C13.6.3 A2(b)(c) and Table C13.5 in Tasmania Planning Scheme – State Planning Provisions 2023.

If any dwelling on lot 1 is within a 120m hose lay to the furthest part of dwelling from the closest fire hydrant on Oakwood Place, it will be deemed to comply with C13.6.3 A1(b)(c) and Table C13.4 in Tasmania Planning Scheme – State Planning Provisions 2023. If >120m a static water supply will be required as per C13.6.3 A2(b)(c) and Table C13.5.

See Table C13.4 below:

Table C13.4: Reticulated Water Supply for Fire Fighting

Element		Requirement
A.	Distance between building area to be protected and water supply.	The following requirements apply: (a) the building area to be protected must be located within 120m of a fire hydrant; and (b) the distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.
B.	Design criteria for fire hydrants.	The following requirements apply: (a) fire hydrant system must be designed and constructed in accordance with <i>TasWater Supplement to Water Supply Code of Australia, WSA 03-2011-3.1 MRWA 2nd edition</i> ; and (b) fire hydrants are not installed in parking areas.
C.	Hardstand.	A hardstand area for fire appliances must be provided: (a) no more than 3m from the hydrant, measured as a hose lay; (b) no closer than 6m from the building area to be protected; (c) with a minimum width of 3m constructed to the same standard as the carriageway; and (d) connected to the property access by a carriageway equivalent to the standard of the property access.

See Table C13.5 below:

Table C13.5: Static Water Supply for Fire Fighting

Element		Requirement
A.	Distance between building area to be protected and water supply.	<p>The following requirements apply:</p> <p>(a) the building area to be protected must be located within 90m of the fire fighting water point of a static water supply; and</p> <p>(b) the distance must be measured as a hose lay, between the fire fighting water point and the furthest part of the building area.</p>
B.	Static Water Supplies.	<p>The static water supply:</p> <p>(a) may have a remotely located offtake connected to the static water supply;</p> <p>(b) may be a supply for combined use (fire fighting and other uses) but the specified minimum quantity of fire fighting water must be available at all times;</p> <p>(c) must be a minimum of 10,000L per building area to be protected. This volume of water must not be used for any other purpose including fire fighting sprinkler or spray systems;</p> <p>(d) must be metal, concrete or lagged by non-combustible materials if above ground; and</p> <p>(e) if a tank can be located so it is shielded in all directions in compliance with Section 3.5 of <i>Australian Standard AS3959:2018 Construction of buildings in bushfire-prone areas</i>, the tank may be constructed of any material provided that the lowest 400mm of the tank exterior is protected by:</p> <p>(i) metal;</p> <p>(ii) non-combustible material; or</p> <p>(iii) fibre-cement a minimum of 6mm thickness.</p>

<p>C.</p>	<p>Fittings, pipework and accessories (including stands and tank supports).</p>	<p>Fittings and pipework associated with a fire fighting water point for a static water supply must:</p> <ul style="list-style-type: none"> (a) have a minimum nominal internal diameter of 50mm; (b) be fitted with a valve with a minimum nominal internal diameter of 50mm; (c) be metal or lagged by non-combustible materials if above ground; (d) if buried, have a minimum depth of 300mm; (e) provide a DIN or NEN standard forged Storz 65 mm coupling fitted with a suction washer for connection to fire fighting equipment; (f) ensure the coupling is accessible and available for connection at all times; (g) ensure the coupling is fitted with a blank cap and securing chain (minimum 220mm length); (h) ensure underground tanks have either an opening at the top of not less than 250mm diameter or a coupling compliant with this Table; and (i) if a remote offtake is installed, ensure the offtake is in a position that is: <ul style="list-style-type: none"> (i) visible; (ii) accessible to allow connection by fire fighting equipment; (iii) at a working height of 450 – 600mm above ground level; and (iv) protected from possible damage, including damage by vehicles.
<p>D.</p>	<p>Signage for static water connections.</p>	<p>The fire fighting water point for a static water supply must be identified by a sign permanently fixed to the exterior of the assembly in a visible location. The sign must comply with:</p> <ul style="list-style-type: none"> (a) water tank signage requirements of <i>Australian Standard AS 2304:2019 Water storage tanks for fire protection systems</i>; or (b) <i>Water Supply Signage Guideline, version 1.0</i>, Tasmania Fire Service, February 2017.
<p>E.</p>	<p>Hardstand.</p>	<p>A hardstand area for fire appliances must be:</p> <ul style="list-style-type: none"> (a) no more than 3m from the firefighting water point, measured as a hose lay (including the minimum water level in dams, swimming pools and the like); (b) no closer than 6m from the building area to be protected; (c) a minimum width of 3m constructed to the same standard as the carriageway; and (d) connected to the property access by a carriageway equivalent to the standard of the property access.

6. Subdivision Plan

6.1. Proposed Layout

The intended subdivision layout is to allow additional lots to be created away from existing main roads. As a result and to provide safe passage for residents and emergency services, a right of way is proposed off Oakwood Place with a turning head. This will be designed and constructed in accordance with C13.2 (B) in Tasmania Planning Scheme – State Planning Provisions 2023 providing acceptable access and turning for firefighting vehicles.

Building areas are large and allow for a range of building locations and BAL options

6.2. Preferred Layout

This can be used as a guide to achieve optimal bushfire management outcomes, or best practice. The aim is to provide solutions that are comparable to the existing layout but incorporate practical bushfire safety measures whilst at the same time not reduce the commercial appeal of the development.

The proposed layout is consistent with sound bushfire threat management.

There is no other comment on preferred layout.

7. Additional Planning Requirements

7.1. Vegetation Management

The proposal is sited within a natural asset code overlay, a priority vegetation area. Specifically related to lots 2 and 3.

Current site conditions reflect grassland for the area in question that is subject to grazing by livestock and horses.

As a consequence, building areas have been amended to not impact known threatened species points.

HMA's on lots 2 and 3 will be confined to grassland outside of known threatened species occurrences.

Figure 7 below shows threatened vegetation observations:



Figure 6: Threatened vegetation observations listmap. www.thelist.tas.gov.au.

The proposal is deemed to be in accordance with C7.7.2 A1(e) of the Tasmanian Planning Scheme -Southern Midlands.

7.2. Environmental Values

As a general rule it is important that proposed works do not lead to excessive vegetation removal (beyond what is required in this report) and measures should be taken to control and stabilize soil where vegetation has been removed in order to prevent erosion. This subdivision is unlikely to significantly alter existing site conditions.

The implementation of any HMA and site access for the proposal is not anticipated to significantly alter the current site and vegetation conditions.

8. Regulations

Regulations governing construction in bushfire prone areas encompass all documents relating to planning, design and implementation. These documents include:

- Tasmania Building Act 2016
- Tasmania Building Regulations 2014
- Tasmania Building Regulations 2016
- Director's Determination – Bushfire Hazard Areas Version 1.1 2021
- Tasmania Planning Scheme – State Planning Provisions 2023
- National Construction Code– 2022
- AS3959 (2018) (incorporating Amendments 1 & 2) – Construction of buildings in bushfire prone areas
- The ABCB Performance Standard for Private Bushfire Shelters Part 1

9. Report Limitations and General Information

This report aims to provide sound advice, best practice strategies and measures in accordance with AS3959 2018 (incorporating Amendments 1 & 2), Tasmania Planning Scheme – State Planning Provisions 2023, the Director's Determination – Bushfire Hazard Areas Version 1.1 2021 relevant to the site assessed.

We rely on information provided to us by clients and agents on behalf of clients. The assessment provided in this report relates only to the subject proposal/land/property, which has been identified in this report.

It is outside the scope of our accreditation to provide performance solutions. Bushfire Tasmania can provide performance solutions only with the advice and approval of the Tasmania Fire Service.

The purpose of recommendations contained in this report are to deliver clarity of circumstances relating to potential bushfire hazard(s). In addition, they are designed to assist in developing mitigation measures and on-going management of the site and surrounding area to provide a tolerable level of risk in accordance with all relevant standards. Any proposed future building(s) or changes in vegetation that may impact this site from a bushfire hazard perspective have not been considered in this report. No responsibility is taken for any loss as a result of actions taken which may be contrary to AS3959 2018 or the Directors Determinations. All findings and conclusions in this report are based on these.

Of particular note and importance from AS3959:

This standard is primarily concerned with improving the ability of buildings in designated bushfire-prone areas to better withstand attack from bushfire thus giving a measure of protection to the building occupants (until the fire front passes) as well to the building itself.

Improving the design and construction of buildings to minimize damage from the effects of bushfire is but one of several measures available to property owners and occupiers to address damage during bushfire. Property owners should be aware that this Standard is part of a process that aims to lessen the risk of damage to buildings occurring in the event of the onslaught of bushfire. Other measures of mitigating damage from bushfire fall within the areas of planning, subdivision, siting, building design, landscaping and maintenance.

Furthermore, compliance with AS3959 does not guarantee that no loss will occur to life or property as a result of bushfire, as stated in AS3959:

It should be borne in mind that the measures contained in this Standard cannot guarantee that a building will survive a bushfire event on every occasion. This is substantially due to the degree of vegetation management, the unpredictable nature and behaviour of fire, and extreme weather conditions.

The survivability of buildings is also dependent on a combination of measures such as landscaping, water supplies, access, building design and maintenance. Care should also be exercised when siting and designing for these measures when constructing a building under this Standard.

Monitoring current TFS advice is imperative and landowners should be aware in Catastrophic Fire Danger Rating conditions, even very well-prepared buildings may not be safe. Residents in bushland areas should not plan to defend any building, regardless of any preparations they have made.

It is the intention that based on the implementation of sound bushfire prevention measures in conjunction with on-going maintenance and keeping informed of possible fire threats that loss of property and/or life may be reduced.

If your property is within a bushfire prone area or if likely to be impacted by bushfire in some way, it is highly recommended that property owners/managers develop and implement a bushfire survival plan. This should address all aspects of bushfire safety and bushfire prevention measures applicable to the property. In addition, an evacuation plan should be developed and rehearsed to ensure occupants can realistically enforce it should the need arise. Please refer to the TFS Bushfire Emergency Planning Guidelines V3.0 2021 as a reference to better plan evacuation procedures as part of any bushfire survival plan and listen to ABC local radio for updates in the event of a fire in your area.

This assessment and BHMP is valid for 6 years from the date of issue.

10. Recommendations

Hazard Management Areas

There is a requirement for proposed building areas and existing buildings to achieve a minimum BAL-19 rating in line with C13.6.1 A1(b) in Tasmania Planning Scheme – State Planning Provisions 2023. HMA's have been imposed that achieves:

- A BAL-19 compliant building solution on all aspects for any building within building areas on all lots. BAL-12.5 is achievable on each lot as long as minimum separation distances are adhered to as outlined in Tables 2-5 in section 4.3.
- HMA's can be reduced in size to separation distances required for the specific dwelling location once finalised.
- Vegetation within HMA's must be maintained in line Clause 2.2.3.2 (d)(e)(f) of AS3959 2018. Refer to section 5.1 for recommendations and information on HMA compliance.

Property Access

- If property access to lot 1 will be >30m and <200m in length and provides access to a static firefighting water supply point, it must comply with C13.2 (B) in Tasmania Planning Scheme – State Planning Provisions 2023.
- Lot 1 site access length and type will depend on whether the final dwelling location meets the minimum 120m hose length from the reticulated fire hydrant on Oakwood Place. If this is satisfied to the furthest part of any class 1a proposal, there will be no requirement for site access and will be deemed to comply with Table C13.2 (A) in Tasmania Planning Scheme – State Planning Provisions 2023.
- Proposed right of way property access to lots 2 and 3 must comply with Table C13.2 (C) in Tasmania Planning Scheme – State Planning Provisions 2023. This is considered continuous from Oakwood Place through lot 1 to lots 2 and 3 and as such property access is >200m in length and provides access to a static firefighting water supply point. A passing bay is required on lot 1, preferably as close as practical to lots 2 and 3. This property access is to be constructed and in place prior to the sealing of titles.

Due to potentially moderately sloped land and for property access' to be compliant, significant bulk earth works may be required. Civil design will address these requirements and site construction/site preparation must ensure these specifications are met.

- Compliant cross-overs to each lot should be in place prior to the sealing of titles.

Firefighting Water Supply

- Proposed habitable dwellings within building areas on lots 2 and 3 will require a static water supply in accordance with C13.6.3 A2(b)(c) and Table C13.5 in Tasmania Planning Scheme – State Planning Provisions 2023.
- If any dwelling on lot 1 is within a 120m hose lay to the furthest part of dwelling from the closest fire hydrant on Oakwood Place, it will be deemed to comply with C13.6.3 A1(b)(c) and Table C13.4 in Tasmania Planning Scheme – State Planning Provisions 2023. If >120m hose lay, a static water supply will be required as per C13.6.3 A2(b)(c) and Table C13.5.

General

- We recommend future owner(s) of any lot be issued with a copy of the bushfire hazard management plan and this report for future planning and reference.
- Building areas on all lots are approved at the time of subdivision and will comply to a minimum BAL-19 solution in accordance with C13.6.1 A1(b) in Tasmania Planning Scheme – State Planning Provisions 2023.

11. Conclusion

The proposal is for a 3 lot subdivision at 17 Oakwood Place, Mangalore (C.T 135416/1) creating 3 lots all approximately 1 hectare in size.

The bushfire prone vegetation of greatest threat is C. Shrubland and G. Grassland.

It is the conclusion of this bushfire hazard assessment report that if all findings and recommendations contained within this report and BHMP are implemented and maintained, the proposal will comply with all Deemed to Satisfy requirements.

Building areas on all lots are approved at the time of subdivision and will comply to a minimum BAL-19 solution in accordance with C13.6.1 A1(b) in Tasmania Planning Scheme – State Planning Provisions 2023.

The site has been assessed in accordance with Tasmania Planning Scheme – State Planning Provisions 2023 and Australian Standard 3959 – *Construction of Buildings in Bushfire Prone Areas 2018* (incorporating Amendments 1 & 2).



Samuel Walters B.Agr Sc.; BFP-130 (1, 2, 3A, 3B)

Bushfire Tasmania

12. References

- AS3959-2018 Construction of buildings in bushfire prone areas, Standards Australia, Sydney (incorporating Amendments 1 & 2).
- Wiltshire,R and Jordan,G. *Treeflip*, School of Plant Science, University of Tasmania, 2009.
- Wiltshire,R and Potts,B. *Eucaflip*, School of Plant Science, University of Tasmania, 2007.
- Director's Determination – Bushfire Hazard Areas Version 1.1 2021.
- Tasmania Building Act 2016.
- Tasmania Building Regulations 2014.
- Tasmania Building Regulations 2016.
- From Forest to Fjaeldmark, *Descriptions of Tasmania's Vegetation*. Department of Primary Industries, Water and Environment, 2005.
- Tasmania Planning Scheme Southern Midlands.
- Tasmania Planning Scheme – State Planning Provisions 2023.
- www.thelist.tas.gov.au
- Chladil, M and Sheridan, J. *Fire Resisting Garden Plants for the urban fringe and rural areas*. Tasmania Fire Service, 2017.
- TasVeg3.0 Tasmanian Vegetation Monitoring and Mapping Program, Biodiversity Conservation Branch, DPIPW, 2013.
- Bushfire Planning Group, *Guidelines for Development in Bushfire Prone Areas of Tasmania*, Tasmania Fire Service, Hobart, 2005.
- www.fire.tas.gov.au
- TFS *Bushfire Emergency Planning Guidelines* Version 3.0, August 2021. Tasmania Fire Service.
- TFS *Building for Bushfire booklet*, Tasmania Fire Service, June 2020.
- TFS *Water Supply Signage Guideline* Version 1.0, Tasmania Fire Service, February 2017.
- TFS *Firefighting Water Supplies booklet*, Tasmania Fire Service.

Appendix A – Site Photographs

Photograph 1 – Looking east toward 17 Oakwood Place from cul-de-sac. Subject site on right (car) and closest fire hydrant on left circled yellow.



Photograph 2 – Looking south east from Oakwood Place to neighbouring 19 Oakwood Place.



Photograph 3 – Looking west south west down Oakwood Place from Cul-de-sac.



Photograph 4 – Looking south east into shrubland vegetation on proposed lot 1.



Photograph 5 – Looking east north east into shrubland on lot 1.



Photograph 6 – Looking north east into shrubland on neighbouring 15 Oakwood Place (down-slope of dwelling).



Photograph 7 – Looking north-north west toward down-slope area below existing dwelling on 15 Oakwood Place.



Photograph 8 – Looking south west from near Midland Highway toward lots 1, 2 and 3. Single row of Macrocarpa Pine are on northern boundary of lot 2.



Photograph 9 – Looking north-north west along western side of Macrocarpa row (seen in photo 8).



Photograph 10 – Looking west toward Macrocarpas from grassland area on lot 2.



Photograph 11 – Looking north from mid north western boundary on lot 2. Macrocarpa row on left surrounded by grassland on the eastern side.



Photograph 12 – Looking east north east from same location as photo 11 toward adjoining 1175 Midland Highway.



Photograph 13 – Looking south-south east from northern side of lot 2 over grassland on lots 2 and 3. Midland Highway and houses on left to middle.



Photograph 14 – Looking north-north west along Midland Highway on right from northern corner of lot 2. 1175 Midland Highway house on left.



Photograph 15 – Looking south-south east from same location as photo 14 down Midland Highway on the left.



Photograph 16 – Looking south west from near northern corner on lot 2 over lots 2 and 3.



Photograph 22 – Looking south east from near southern boundary on lot 1.



Photograph 25 – Looking west south west from near southern boundary on lot 1.



Photograph 26 – Looking south from near southern boundary on lot 1.



Photograph 27 – Looking south into down-slope shrubland on 99 Mountford Drive from mid western boundary on lot 1.



Photograph 28 – Looking west into 19 Oakwood Place from near middle of western boundary on lot 1.



Photograph 33 – Looking north-north east into 99 Mountford Drive from north of existing dwelling on 105 Mountford Drive.



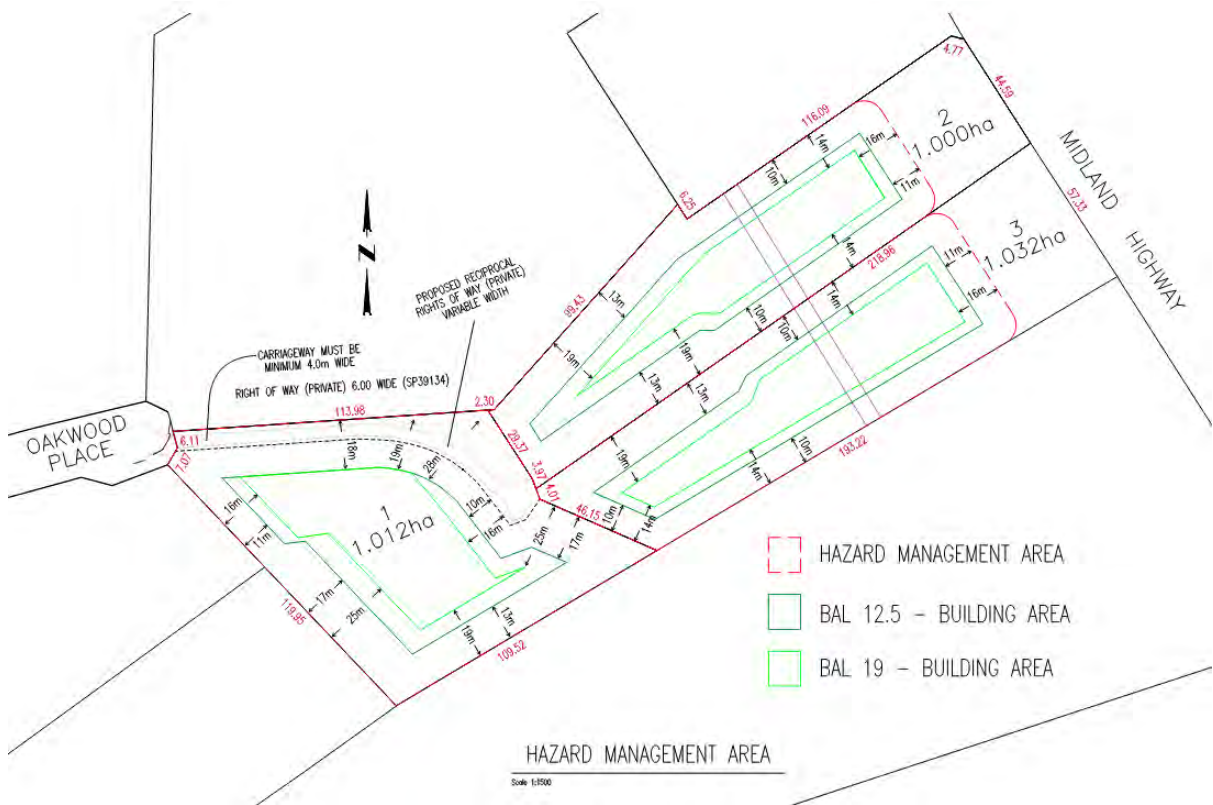
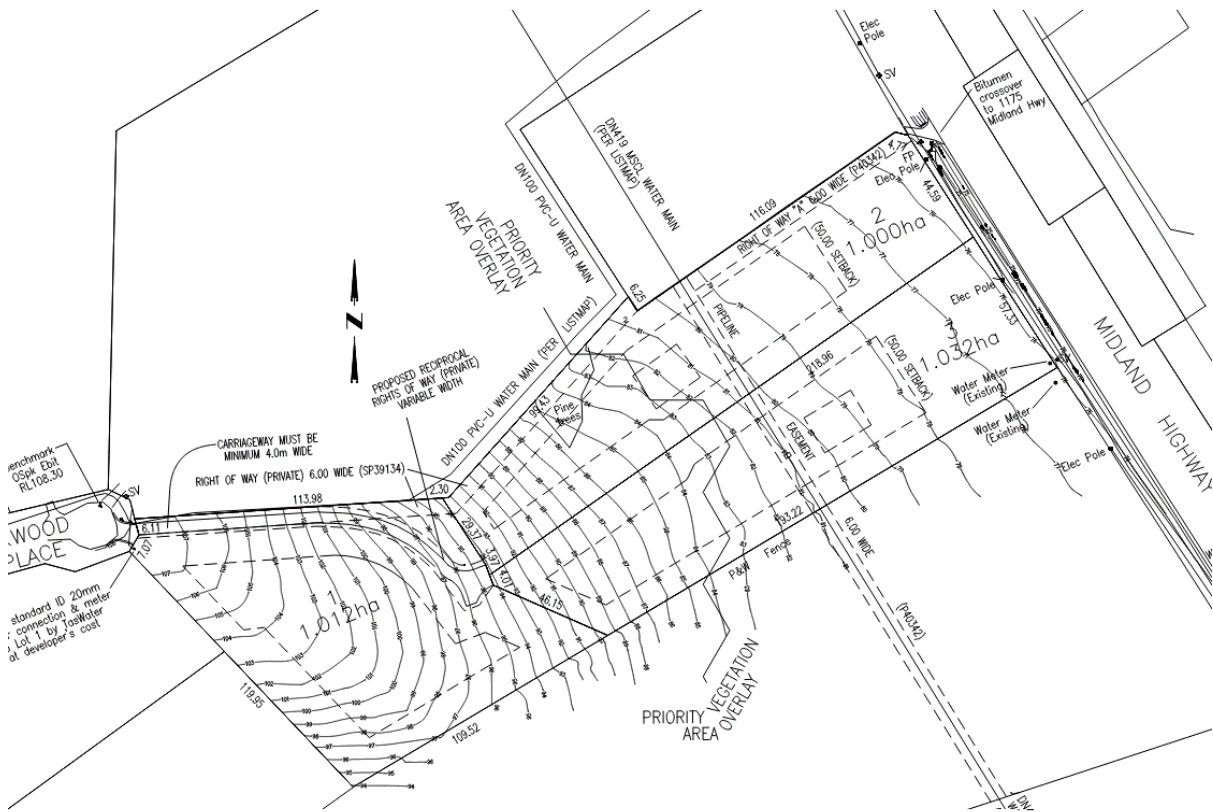
Photograph 34 – Looking north toward shrubland vegetation on 99 Mountford Drive from 105 Mountford Drive.



Photograph 35 – Looking north west toward managed grass and shrubland vegetation on 99 Mountford Drive from watercourse edge on 105 Mountford Drive.







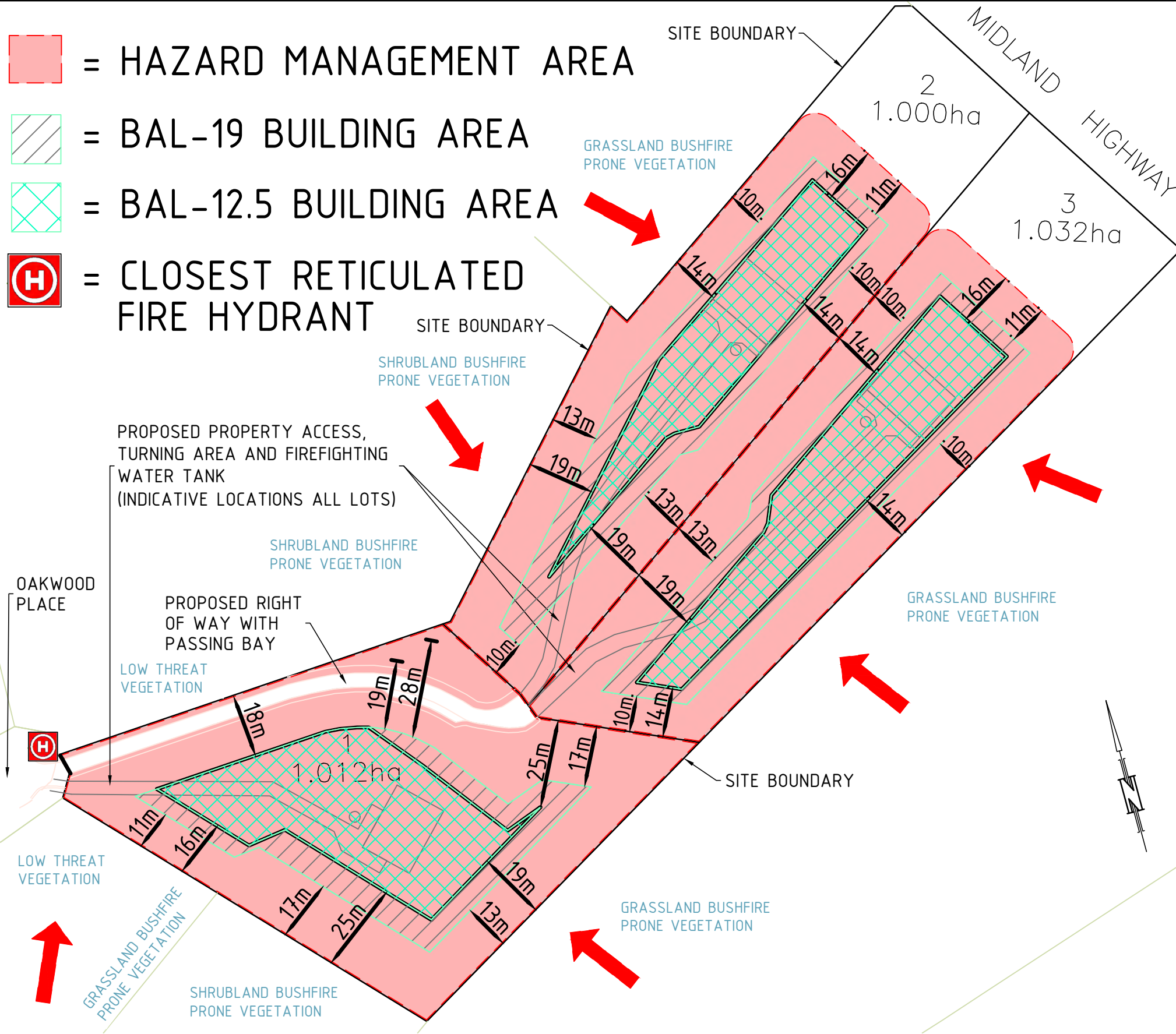
Appendix B – Subdivision Plans



Appendix C – Bushfire Hazard Management Plan

See attached

-  = HAZARD MANAGEMENT AREA
-  = BAL-19 BUILDING AREA
-  = BAL-12.5 BUILDING AREA
-  = CLOSEST RETICULATED FIRE HYDRANT



VEGETATION MANAGEMENT:
 IN ACCORDANCE WITH TABLE 2.6 IN AS3959, 2018 AND E1.6.1 A1(B) OF PLANNING DIRECTIVE 5.1 BUSHFIRE-PRONE AREAS CODE 2022.
 LOT 1 - FROM PROPOSED BUILDING AREA, SEPARATION DISTANCES ARE REQUIRED TO THE LOT BOUNDARY ON ALL ASPECTS. PROVIDES BAL-19 COMPLIANCE FOR THE BUILDING AREA.
 LOTS 2 & 3 - SEPARATION DISTANCES FROM THE PROPOSED BUILDING AREA TO THE LOT BOUNDARY ON THE NORTH WESTERN, SOUTH WESTERN AND SOUTH EASTERN ASPECTS AS WELL AS 11m ON THE NORTH EASTERN ASPECT. PROVIDES BAL-19 COMPLIANCE FOR BUILDING AREAS.
ALL LOTS:
 TO SATISFY HMA VEGETATION REQUIREMENTS, GRASS MUST BE REGULARLY MOWN TO A NOMINAL 100mm OR LESS HEIGHT (AS3959 2018 CLAUSE 2.2.3.2(F)). SOME EXISTING TREES >4m IN HEIGHT MAY BE RETAINED BUT TO LOWER 2m IS TO BE TRIMMED AND MAINTAINED. EXISTING SHRUBS / SMALL TREES <4m IN HEIGHT REQUIRE REMOVAL / THINNING IN LINE WITH GENERAL VEGETATION INFORMATION BELOW. ANY RETAINED TREES 2-4m IN HEIGHT SHOULD HAVE THE LOWER 1m TRIMMED AND MANAGED.

GENERAL VEGETATION MANAGEMENT INFORMATION:
 VEGETATION MAY BE PLANTED WITHIN THE HMA BUT MUST SATISFY LOW THREAT CONDITIONS IN ACCORDANCE WITH AS3959 2018 CLAUSE 2.2.3.2(D)(E)(F). ANY BUILDING REFERS TO A CLASS 1A OR CLASS 10A WITHIN 6M OF A CLASS 1A.
 SHRUBS <0.5m IN HEIGHT MAY BE PLANTED NOT WITHIN 1.5m OF ANY BUILDING.
 VEGETATION 0.5-1m IN HEIGHT MAY BE PLANTED EITHER INDIVIDUALLY OR IN SINGLE ROWS WITH SPACING BETWEEN FOLIAGE OF A MINIMUM 2m AND NOT WITHIN 3m OF ANY BUILDING.
 SHRUBS UP TO 2m IN HEIGHT CAN BE PLANTED EITHER INDIVIDUALLY OR IN SINGLE ROWS BUT MUST BE SPACED WITH A MINIMUM 6m BETWEEN FOLIAGE AND NOT WITHIN 6m OF ANY BUILDING.
 LARGE PLANTS 4m OR MORE IN HEIGHT CAN BE PLANTED BUT LOW AND MID-LEVEL GROWTH UP TO 2m IN HEIGHT TO BE TRIMMED AND MAINTAINED OVER TIME WITH MINIMUM SPACING BETWEEN CROWNS OF 20m.
 VEGETATION 2m OR MORE IN HEIGHT SHOULD NOT BE PLANTED WITHIN 10m OF ANY BUILDING.
 ALL NEW VEGETATION 1-4m IN HEIGHT SHOULD BE SPACED FROM LARGE VEGETATION (>4m) AT LEAST 10m FROM TREE TRUNK. WE RECOMMEND USE OF LOW FLAMMABILITY PLANTS.
 IT IS RECOMMENDED OWNERS REFER TO THE TFS GUIDELINES FOR HMA'S CONTAINED WITHIN THE BUILDING FOR BUSHFIRE BOOKLET DATED JUNE 2020 AT WWW.FIRE.TAS.GOV.AU.

HMA SIZE:
 THE SIZE OF ANY HMA CAN BE REDUCED TO THE SEPARATION DISTANCES SURROUNDING THE FINAL DWELLING LOCATION FOR EITHER BAL-12.5 OR BAL-19.

PROPERTY ACCESS:
PROPOSED PROPERTY ACCESS LOT 1:
 IF THE ENTIRETY OF ANY PROPOSED DWELLING IS WITHIN 120m AS A HOSE LAY FROM THE CLOSEST FIRE HYDRANT ON OAKWOOD PLACE, PROPERTY ACCESS WOULD BE DEEMED TO COMPLY WITH TABLE C13.2 (A) IN TASMANIA PLANNING SCHEME - STATE PLANNING PROVISIONS 2023. IF >120m FROM HYDRANT, ACCESS TO COMPLY WITH TABLE C13.2 (B).
PROPOSED PROPERTY ACCESS LOTS 2 & 3:
 PROPERTY ACCESS LENGTH FROM OAKWOOD PLACE THROUGH LOT 1 TO LOTS 2&3 IS >200m AND WILL PROVIDE ACCESS TO STATIC FIREFIGHTING WATER SUPPLY. MUST COMPLY WITH TABLE C13.2 (C) IN TASMANIA PLANNING SCHEME - STATE PLANNING PROVISIONS 2023.
RIGHT OF WAY/PROPERTY ACCESS TO LOTS 2&3:
 PROPOSED ACCESS OFF OAKWOOD PLACE TO COMPLY WITH TABLE C13.2 (C) IN TASMANIA PLANNING SCHEME - STATE PLANNING PROVISIONS 2023. A PASSING BAY IS REQUIRED ON LOT 1 WITHIN 200m OF OAKWOOD PLACE. INDICATIVE PASSING BAY IS SHOWN, PREFERABLY AS CLOSE TO LOTS 2 & 3 AS PRACTICAL.

WATER SUPPLY:
LOTS 2 & 3:
 ANY FUTURE HABITABLE BUILDING MUST INSTALL A STATIC WATER SUPPLY POINT IN ACCORDANCE WITH C13.6.3 A2(B)(C) AND TABLE C13.5 IN TASMANIA PLANNING SCHEME - STATE PLANNING PROVISIONS 2023.
LOT 1:
 IF THE FURTHEST PART OF ANY DWELLING IS WITHIN 120m AS A HOSE LAY FROM FIRE HYDRANT ON OAKWOOD PLACE, IT WILL BE DEEMED TO COMPLY WITH C13.6.3 A1(B)(C) AND TABLE C13.4 IN TASMANIA PLANNING SCHEME - STATE PLANNING PROVISIONS 2023. IF >120m A STATIC WATER SUPPLY WILL BE REQUIRED AS PER C13.6.3 A2(B)(C) AND TABLE C13.5.

RECOMMENDATIONS:
 MINIMUM SEPARATION DISTANCES ON ALL LOTS ARE TO BE MAINTAINED AS LOW THREAT AND IN ACCORDANCE WITH CLAUSES 2.2.3.2(d)(e)(f) OF AS3959 2018, BHMP AND BUSHFIRE HAZARD REPORT.
 SITE ACCESS TO BUILDING AREAS ON ALL LOTS SHOULD BE IN PLACE PRIOR TO SEALING OF TITLES.
 CURRENT AND FUTURE OWNERS OF ANY LOT SHOULD RECEIVE A COPY OF THIS BHMP AND REPORT.
 CONSTRUCTIONS REQUIREMENTS FOR ANY PROPOSED CLASS 1A DWELLING OR CLASS 10A SHED WITHIN 6m OF A HABITABLE BUILDING WITHIN BUILDING AREA ON ALL LOTS MUST COMPLY WITH CONSTRUCTION STANDARDS AS DETAILED BY AS3959, 2018 SECTIONS 3 5 AND/OR 6 SPECIFICALLY CLAUSES 5.2 TO 5.8 FOR BAL-12.5 AND/OR CLAUSES 6.2 TO 6.8 FOR BAL-19.
 BAL-12.5 CAN BE ACHIEVED ON ALL LOTS WITH GREATER SEPARATION DISTANCES AS SHOWN ON BHMP.

BUSHFIRE HAZARD MANAGEMENT PLAN
 SCALE 1:1500

CLIENT: MICHAEL AND JESSICA WHELAN		SHEET: BUSHFIRE HAZARD MANAGEMENT PLAN		DRAWN: SW		APPROVED: SW BFP-130	
ADDRESS: 17 OAKWOOD PLACE MANGALORE		PROJECT: PROPOSED 3 LOT SUBDIVISION		SCALE: 1:1500		SIZE: A3	
ISSUE: PLANNING APPROVAL		PROJECT No. A22-17		DATE: 17/09/2023		SHEET No. REV No.	
C PLANNING APPROVAL 17/09/2023		B PLANNING APPROVAL 31/07/2023		A PLANNING APPROVAL 23/01/2023		C	

DRAWING DETAILS: 17 Oakwood, Mangalore Rev C.dwg - SAM WALTERS - PLOTTED: 18/Sep/2023, 4:13 PM

BUSHFIRE-PRONE AREAS CODE

CERTIFICATE¹ UNDER S51(2)(d) LAND USE PLANNING AND APPROVALS ACT 1993

1. Land to which certificate applies

The subject site includes property that is proposed for use and development and includes all properties upon which works are proposed for bushfire protection purposes.

Street address:

17 Oakwood Place, Mangalore

Certificate of Title / PID:

135416/1

2. Proposed Use or Development

Description of proposed Use and Development:

3 Lot Subdivision

Applicable Planning Scheme:

Tasmania Planning Scheme Southern Midlands

3. Documents relied upon

This certificate relates to the following documents:

Title	Author	Date	Version
Bushfire Hazard Assessment Report for 3 Lot Subdivision at 17 Oakwood Place, Mangalore, report code A22-17 Rev 2	Samuel Walters Bushfire Tasmania BFP-130	September 2023	3.0
Bushfire Hazard Management Plan for 17 Oakwood Place, Mangalore dated 17/09/2023, code A22-17	Samuel Walters Bushfire Tasmania BFP-130	17/09/2023	Rev C
Plan of Subdivision for WW Tas Pty Ltd at 17 Oakwood Place, Mangalore.	WW Tas Pty Ltd	25/07/2023	Rev 08

¹ This document is the approved form of certification for this purpose and must not be altered from its original form.

4. Nature of Certificate

The following requirements are applicable to the proposed use and development:

<input type="checkbox"/> E1.4 / C13.4 – Use or development exempt from this Code	
Compliance test	Compliance Requirement
<input type="checkbox"/> E1.4(a) / C13.4.1(a)	Insufficient increase in risk

<input type="checkbox"/> E1.5.1 / C13.5.1 – Vulnerable Uses	
Acceptable Solution	Compliance Requirement
<input type="checkbox"/> E1.5.1 P1 / C13.5.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.5.1 A2 / C13.5.1 A2	Emergency management strategy
<input type="checkbox"/> E1.5.1 A3 / C13.5.1 A2	Bushfire hazard management plan

<input type="checkbox"/> E1.5.2 / C13.5.2 – Hazardous Uses	
Acceptable Solution	Compliance Requirement
<input type="checkbox"/> E1.5.2 P1 / C13.5.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.5.2 A2 / C13.5.2 A2	Emergency management strategy
<input type="checkbox"/> E1.5.2 A3 / C13.5.2 A3	Bushfire hazard management plan

<input checked="" type="checkbox"/> E1.6.1 / C13.6.1 Subdivision: Provision of hazard management areas	
Acceptable Solution	Compliance Requirement
<input type="checkbox"/> E1.6.1 P1 / C13.6.1 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/> E1.6.1 A1 (a) / C13.6.1 A1(a)	Insufficient increase in risk
<input checked="" type="checkbox"/> E1.6.1 A1 (b) / <u>C13.6.1 A1(b)</u>	Provides BAL-19 for all lots (including any lot designated as 'balance')
<input type="checkbox"/> E1.6.1 A1(c) / C13.6.1 A1(c)	Consent for Part 5 Agreement

<input checked="" type="checkbox"/>	E1.6.2 / C13.6.2 Subdivision: Public and fire fighting access	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.2 P1 / C13.6.2 P1	<i>Planning authority discretion required. A proposal cannot be certified as compliant with P1.</i>
<input type="checkbox"/>	E1.6.2 A1 (a) / C13.6.2 A1 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.2 A1 (b) / <u>C13.6.2 A1 (b)</u>	Access complies with relevant Tables

<input checked="" type="checkbox"/>	E1.6.3 / C13.1.6.3 Subdivision: Provision of water supply for fire fighting purposes	
	Acceptable Solution	Compliance Requirement
<input type="checkbox"/>	E1.6.3 A1 (a) / C13.6.3 A1 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.3 A1 (b) / <u>C13.6.3 A1 (b)</u>	Reticulated water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A1 (c) / C13.6.3 A1 (c)	Water supply consistent with the objective
<input type="checkbox"/>	E1.6.3 A2 (a) / C13.6.3 A2 (a)	Insufficient increase in risk
<input checked="" type="checkbox"/>	E1.6.3 A2 (b) / <u>C13.6.3 A2 (b)</u>	Static water supply complies with relevant Table
<input type="checkbox"/>	E1.6.3 A2 (c) / C13.6.3 A2 (c)	Static water supply consistent with the objective

5. Bushfire Hazard Practitioner

Name:	Samuel Walters	Phone No:	0438 559 371
Postal Address:	21 Dysart Street Clifton Beach TAS 7020	Email Address:	sam@bushfiretasmania.com.au
Accreditation No:	BFP – 130	Scope:	3B

6. Certification

I certify that in accordance with the authority given under Part 4A of the *Fire Service Act 1979* that the proposed use and development:

- Is exempt from the requirement Bushfire-Prone Areas Code because, having regard to the objective of all applicable standards in the Code, there is considered to be an insufficient increase in risk to the use or development from bushfire to warrant any specific bushfire protection measures, or
- The Bushfire Hazard Management Plan/s identified in Section 3 of this certificate is/are in accordance with the Chief Officer's requirements and compliant with the relevant **Acceptable Solutions** identified in Section 4 of this Certificate.

Signed:
certifier



Name:

Samuel Walters

Date: 17/09/2023

Certificate Number: A22-17 009

(for Practitioner Use only)

11th September 2023

Southern Midlands Council
PO Box 21
OATLANDS TAS 7120
Attn: Mr Grant Finn

Dear Sir,

**AMENDED SUBDIVISION APPLICATION – THREE (3) LOTS – 17 OAKWOOD COURT,
MANGALORE**

Please find attached the amended subdivision application for a subdivision at 17 Oakwood Court, Mangalore.

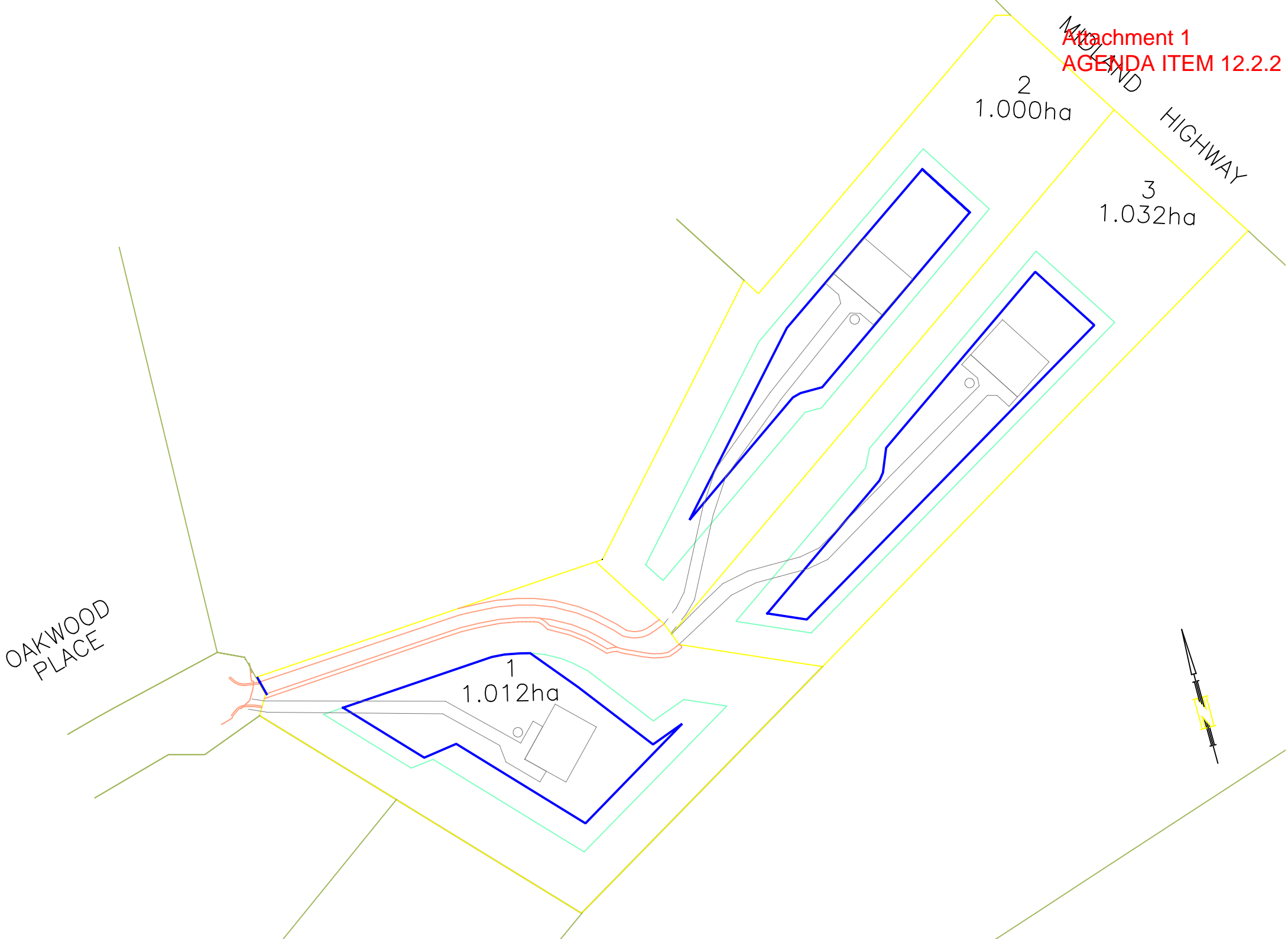
Attached are:-

- Amended subdivision plan by Peter Binny Surveys,
- Certificate of Title, Folio Plan & Schedule of Easements,
- Amended bushfire assessment report & supporting documents by Mr Sam Walters,
- Amended natural assets code response by Mr Rod Hanel,
- Stormwater assessment by Ms Anna Wilson, and
- Planning Assessment.

Please do not hesitate to contact me if you have any further queries.

Regards

Michael Whelan
0409416353



SEARCH OF TORRENS TITLE

VOLUME 135416	FOLIO 1
EDITION 2	DATE OF ISSUE 26-May-2022

SEARCH DATE : 16-Aug-2022

SEARCH TIME : 02.01 PM

DESCRIPTION OF LAND

Parish of STRANGFORD, Land District of MONMOUTH
 Lot 1 on Plan 135416
 Derivation : Part of 519 acres Gtd to William Kimberley and
 Thomas Yardley Lowes
 Prior CT 100021/15

SCHEDULE 1

M954211 TRANSFER to CALYNDA JAY JENSEN Registered
 26-May-2022 at noon

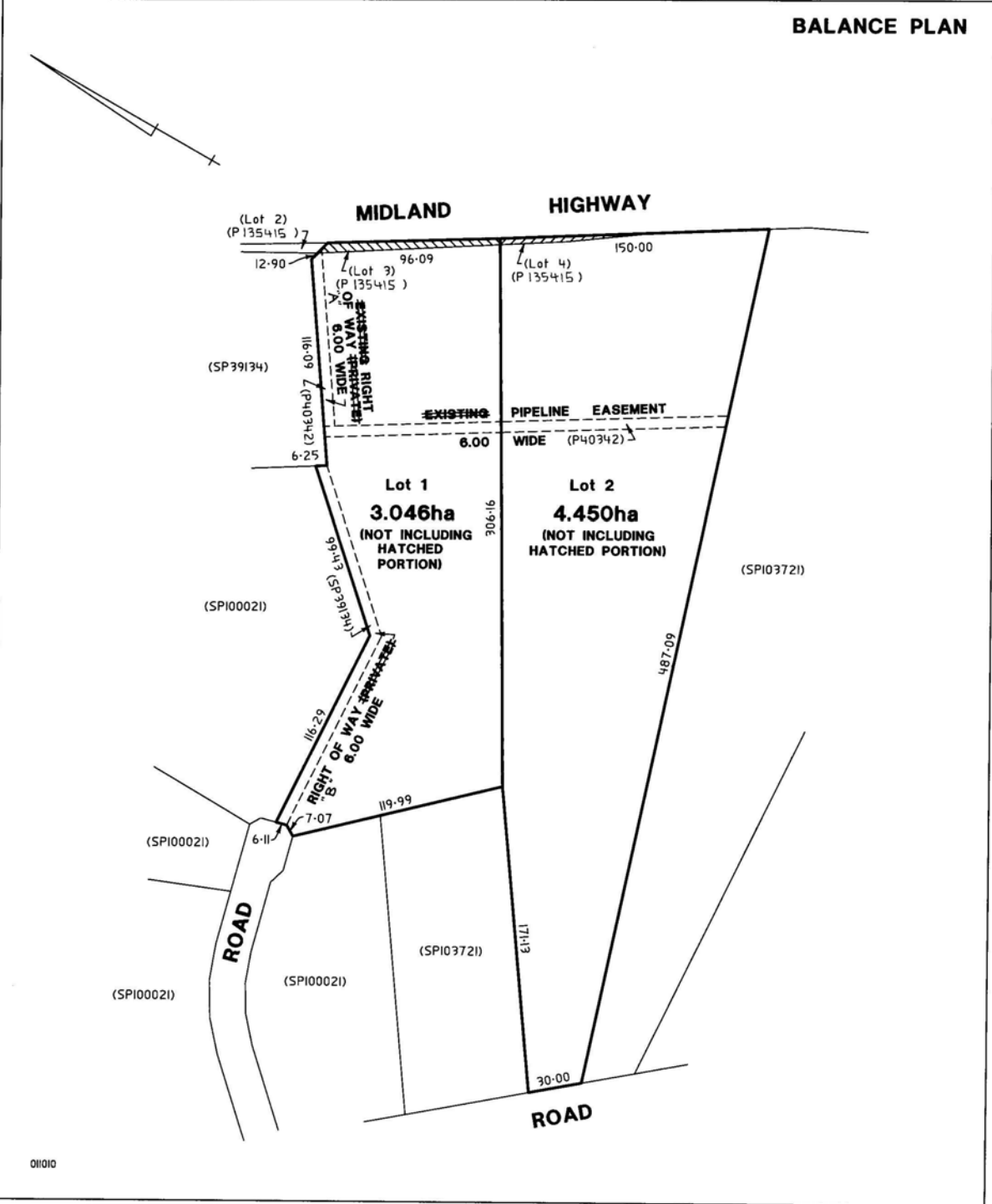
SCHEDULE 2

Reservations and conditions in the Crown Grant if any
 SP100021 EASEMENTS in Schedule of Easements
 SP41845,SP100021 COVENANTS in Schedule of Easements
 SP100021 FENCING COVENANT in Schedule of Easements
 SP41845,SP100021 COUNCIL NOTIFICATION under Section 468(12) of
 the Local Government Act 1962
 E303477 MORTGAGE to Commonwealth Bank of Australia
 Registered 26-May-2022 at 12.01 PM

UNREGISTERED DEALINGS AND NOTATIONS

No unregistered dealings or other notations

OWNER: Lot 1 - Malcolm Christopher Walker Lot 2 - Leon Alfred Smith & Janine Maree Turner-Smith FOLIO REFERENCE: Lot 1 - C.T.100021/15 Lot 2 - C.T.103721/18 GRANTEE: Part of 519-0-0 Granted to William Kimberley and Thomas Yardley Lowes	PLAN OF TITLE LOCATION LAND DISTRICT OF MONMOUTH PARISH OF STRANGFORD FIRST SURVEY PLAN No. COMPILED BY OFFICE OF THE SURVEYOR-GENERAL SCALE 1:2000 LENGTHS IN METRES		REGISTERED NUMBER P135416 APPROVED EFFECTIVE FROM 5 - MAY 2001 <i>Alice Kawa</i> Recorder of Titles
	MAPSHEET MUNICIPAL CODE No I25 (S227) (S027-25)	LAST UPI No 1204629 & 1204668	LAST PLAN No SPI00021 & SPI03721



Report for Southern Midlands Council

‘Amended Report’

Natural Assets Code response

for

Proposed Subdivision

of the

17 Oakwood Place

WW Tas Pty Ltd

Mangalore

Tasmania

Rural Living Zone

Site Specific Report

Required for the Application of a Planning Permit

27th July 2023

Rod Hancl, B.Ag.Sc. (Hon.)

Nutrien Ag Solutions

49 Glenstone Rd, Bridgewater, Tasmania, 7030.

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Appendix 4. theList, ESRI Imagery map identifying the 17 Oakwood Place subdivision. <i>The map displays TasVeg 4.0 overlay (i.e. Vegetation Community Group & Description)</i>	17.
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1. Summary of Natural Assets Code response

The following report forms part of the Southern Midlands Council application prerequisite for a new subdivision development ‘Planning Permit’ of the 17 Oakwood Place property which is being assessed under the Tasmania Planning Scheme – Southern Midlands 2022. This planning permit would involve the 17 Oakwood Place property being subdivided into three lots consisting of Lot 1 (1.012 ha), Lot 2 (1.000 ha), and Lot 3 (1.032 ha) (Appendix 1 & 2). This planning development is required to be assessed under section C7.0. Natural Assets Code in reference to the subdivision in a Priority Vegetation Area (i.e., Lot 2 and Lot 3).

A ‘Desktop’ study of the Tasmanian State Government web site *theList* (DNRET 2023) identifies there are threatened flora species within the localised area of the planned Oakwood subdivision (Appendix 3 & 4). This research identifies that there are threatened Tasmanian flora points that have been recorded in the localized surrounding area of the Midlands Highway and near the 17 Oakwood Place property (i.e., *proposed Lot 3*). There are no threatened Tasmanian flora points that have been recorded on the 17 Oakwood Place property (Appendix 3 & 4).

theList (DNRET 2023) identifies that the threatened species flora points in the localized surrounding area of the Midlands Highway are the Lemon Beautyheads perennial herb (*Calocephalus citreus*) (Appendix 3 & 4). This perennial herb can grow up to 30 to 60 cm tall but does not tolerate heavy disturbance such as stock grazing (i.e., *slashing, or suburban mowing*), farming outcomes (i.e., *cultivation or hay production*) and the use of fertilisers. This threatened plant flowers from September to March. The key survival of this threatened vegetation is to maintain any land disturbance to a minimum (<https://www.threatenedspecieslink.tas.gov.au/Pages/Calocephalus-citreus.aspx>). The Narrow Leaf New Holland daisy (*Vittadinia muelleri*) has been observed within the surrounding area of the proposed subdivision (Appendix 3 & 4). This threatened species is a tufted perennial herb that flowers generally from November to May. The plant can grow up to 15 cm tall and is known on dry sites with fertile soils but is threatened by grazing (*or slashing / suburban*

mowing). Notably, the construction of quarries and tracks can be beneficial to this plant's survival (*i.e. this creates bare ground*) due to the reduction of plant competition. (<https://www.threatenedspecieslink.tas.gov.au/Pages/Vittadinia-muelleri.aspx>). These two threatened species are not endemic to Tasmania. The Lemon Beautyheads specie is also found in South Australia, Victoria and New South Wales, and the Narrow Leaf New Holland daisy is found in Victoria, New South Wales, and Queensland.

theList (DNRET 2023) TasVeg 4.0 overlay (*i.e.*, Vegetation Community Group & Description) describes the vegetation on the planned 17 Oakwood Place subdivision to range from Modified Land (FUR) Urban areas (*i.e.*, Lot 1, Lot 2, & Lot 3) to Modified Land (FAG) Agricultural Lands (*i.e.*, Lot 2 & Lot 3).

A site visit(s) (*i.e. by the author*) to the planned 17 Oakwood Place subdivision was conducted on Friday 9th and Monday 12th December 2022 and Wednesday 15th Jan 2023. This visit was to provide clarity for documenting a report, regarding the subdivision of this Rural Living land and the possibility of any threatened Tasmanian flora being present within the Priority Vegetation Area (*i.e.* Lot 2 & Lot 3) (Appendix 1, 2, 3, 4, & 5). And respond to C7.7.2 Performance Criteria P1.1, Point (a.) and Performance Criteria P1.2, Points (a.) through to (f.) of the Tasmanian Planning Scheme (2022) – Southern Midlands, for a council planning permit.

The site visits of the Priority Vegetation Area of Lot 2 and Lot 3 confirmed the vegetation as Modified Land (FAG) Agricultural Lands (Appendix 5) (Picture #1). Threatened Tasmania flora species (www.threatenedspecieslink.tas.gov.au) were observed during the site visits in localised area of the planned subdivision.

Scouting of the Priority Vegetation Area of Lot 2 and Lot 3 confirmed that the Lemon beautyheads perennial herb can be readily observed in approximate area of the boundary fence (*i.e. both sides of the fence*) with the Midlands highway and the proposed subdivision lots (Picture #2 & #3).

Scouting of the Priority Vegetation Area of Lot 2 and Lot 3 confirmed that the Narrowleaf new-holland-daisy can be observed in approximate area to the boundary fence (*i.e. both sides of the fence*) with the Midlands highway and the proposed subdivision lots (Picture #4 & #5). This threatened species was not observed in the general pastureland area Lot 2 and Lot 3.

There were no threatened species observed near the planned dwelling sites of Lot 2 and Lot 3. This pastureland land has been utilised for agricultural outcomes (*e.g., stock grazing of sheep or horses, pasture production, pasture renovation with exotic pasture species, hay production or slashing*) which are detrimental to the persistence of threatened Tasmanian flora (Picture #1). Both threatened flora species are susceptible to stock grazing (*or slashing / hay production*) outcomes and their persistence on this pastureland vegetation community appear to be in the more sheltered sites of the Priority Vegetation Area (*i.e., both sides of eastern boundary fence line of proposed Lot 2 and Lot 3*).

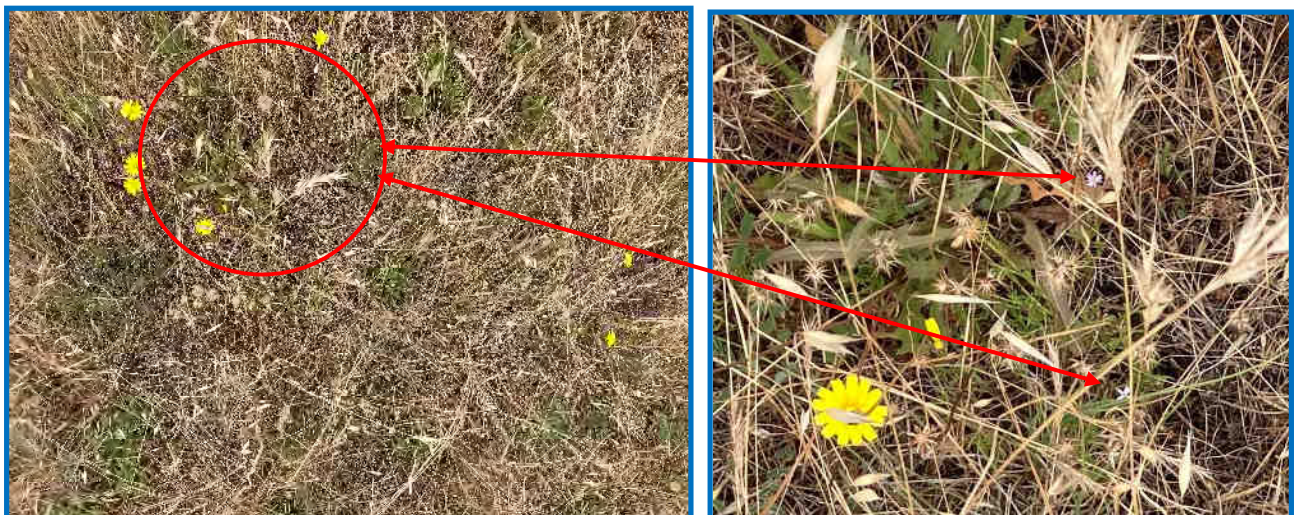
Picture #1. *Photo taken from southeastern corner of the planned 17 Oakwood Place subdivision. The foreground of this land i.e., Lot 2 and Lot 3 is subject to a Priority Vegetation Area overlay (Appendix 1 & 2, 3, & 4). This area vegetation community can be described as Modified Land (FAG) Agricultural Lands consisting of pasture & native grasses, clovers, agricultural weeds, perennial herbs, wildflower, woody weeds, and threatened species (Appendix 5).*



Picture #2 & #3. Photo taken from northeastern corner of the planned 17 Oakwood Place subdivision along the boundary fence with the Midlands Highway. This forms part of Lot 2 and Lot 3 and is subject to a Priority Vegetation Area overlay (Appendix 1, 2, 3, & 4). Along this boundary the Lemon Beautyheads perennial herb can be sighted at regular intervals. But moving away from the fence, the threatened species is not observed in the general pastureland. Red circle in picture #3 indicates a Lemon Beautyheads perennial herb location.



Picture #4 & #5. The Narrow leaf New Holland perennial herb can be observed displaying small mauve flowers with yellow centres near the boundary fence with the Midlands of northeastern corner of the planned 17 Oakwood Place subdivision. This highway boundary is part of i.e. Lot 2 is subject to a Priority Vegetation Area overlay (Appendix 1, 2, 3, & 4). This area does not fall within the required cleared area for the Fire Management Plan (Appendix 1 & 2).



2. Clause C7.7.2 Subdivision within a priority vegetation area.

Objective: That: (a) works associated with subdivision will not have an unnecessary or unacceptable impact on priority vegetation; and (b) future development to be facilitated by subdivision is unlikely to lead to an unnecessary or unacceptable impact on priority vegetation.

Performance Criteria P1.1: Each lot, or a lot proposed in a plan of subdivision, within a priority vegetation must be for:

Point (a). subdivision for an existing use on this site, provided any clearance is contained within the minimum area necessary to be cleared to provide adequate bushfire protection, as recommended by the Tasmanian Fire Service or an accredited person:

This proposed 17 Oakwood Place subdivision has two proposed Lots that are subject to a Priority Vegetation Area overlay. These land areas include Lot 2 and Lot 3 (Appendix 1, 2, 3, & 4). *theList* (DNRET 2023) TasVeg 4.0 overlay (i.e. Vegetation Community Group & Description) describes the vegetation as Modified Land (FAG) Agricultural Lands (Appendix 4).

The Lot 2 and Lot 3 proposed dwelling footprints and subsequent Bush Fire Management Plan (i.e. Sam Walters, Bushfire Tasmania – Accreditation No. BFP – 130) will impact on the defined Priority Vegetation Area overlay. *theList* web site (DNRET 2023) identifies that there are threatened flora points in the localised area of the planned subdivision (Appendix 3 & 4). Site visits confirmed that the Lemon beautyheads perennial herb can be readily observed in approximate area of the boundary fence (i.e. both sides of the fence) with the Midlands highway and the proposed subdivision lots (Picture #2 & #3). The Narrowleaf new-holland-daisy can be observed in approximate area to the boundary fence (i.e. both sides of the fence) with the Midlands highway and the proposed subdivision lots (Picture #4 & #5).

The Bush Fire Management Plan required clearance is contained within the minimum area necessary to be cleared to provide adequate bushfire protection and will not have an unnecessary or unacceptable impact on the priority vegetation (Appendix 2, 3 & 4). Lot 2, and Lot 3 Bush Fire Plan provides an approximate 48 m buffer (i.e. set back from the Midlands Highway boundary fence to the start of the required clearance zone) and, generally a 10 m buffer from

proposed internal boundaries of each Lot and this outcome effectively will not cause an impact on the preferred threatened species habit (Appendix 1 & 2).

Performance Criteria P1.2: *Works association with subdivision within a priority vegetation area must minimize adverse impacts on priority vegetation, having regards to:*

Point (a). *the design and location of any works, future development likely to be facilitated by the subdivision, and any constraints such as topography or land hazards;*

This proposed 17 Oakwood Place subdivision has two Lots that are subject to a Priority Vegetation Area overlay. These land areas include Lot 2 and Lot 3 (Appendix 1, 2, 3, & 4).

The design and location of the planned dwellings of Lot 2 and Lot 3 will minimize any adverse impacts on the priority vegetation as the observed threatened species that persisted with this pastureland vegetation community appear to be in the more sheltered sites of the Priority Vegetation area. Site visits confirmed that the Lemon Beautyheads perennial herb can be readily observed in approximate area of the boundary fence (*i.e. both sides of the fence*) with the Midlands highway the proposed subdivision lots (Picture #2 & #3). The Narrowleaf new-holland-daisy can be observed in approximate area to the boundary fence (*i.e. both sides of the fence*) with the Midlands highway and the proposed subdivision lots (Picture #4 & #5).

The design of the future development of these Lots has been proposed to diminish any impact on the priority vegetation and identified threatened species. There was no land hazards or topography identified that may presents constraints for the subdivision or presents as unique conditions for threatened flora species to persist in the environment.

Point (b). *any particular requirements for the works and future development likely to be facilitated by the subdivision.*

This proposed 17 Oakwood Place subdivision has two Lots that that are subject to a Priority Vegetation Area overlay. These land areas include Lot 2 and Lot 3 (Appendix 1, 2, 3, & 4).

Lot 2 will not have an access track to the proposed dwelling footprint that would transverse the priority vegetation overlay.

The future development of the planned dwellings of Lot 3 will require an access track to the dwellings, but this will minimize any adverse impacts on the priority vegetation area as this outcome will not cause an impact on the preferred threatened species habit. The threatened species that persist with this pastureland vegetation community appear to be in the more sheltered sites of the Priority Vegetation area. Site visits confirmed that the Lemon beautyheads perennial herb can be readily observed in approximate area of the boundary fence (*i.e. both sides of the fence*) with the Midlands highway the proposed subdivision lots (Picture #2 & #3). The Narrowleaf new-holland-daisy can be observed in approximate area to the boundary fence (*i.e. both sides of the fence*) with the Midlands highway and the proposed subdivision lots (Picture #4 & #5).

Point (c). *the need to minimize impacts resulting from bushfire hazard management measures through siting and fire-resistant design of any future habitable buildings;*

This proposed 17 Oakwood Place subdivision has two Lots that are subject to a Priority Vegetation Area overlay. These land areas include Lot 2 and Lot 3 (Appendix 1, 2, 3, & 4). There are no requirements for fire-resistant design of any future habitable buildings on any planned subdivision lots.

The Lot 2 and Lot 3 proposed dwelling footprints and subsequent Bush Fire Management Plan (*i.e. Sam Walters, Bushfire Tasmania – Accreditation No. BFP – 130*) will impact on the defined Priority Vegetation Area overlay (Appendix 1 & 2). The Bush Fire Management Plan will minimize any adverse impacts on the priority vegetation as the observed threatened species that persisted with this pastureland vegetation community appear to be in the more sheltered sites of the Priority Vegetation and these sites are not impact by bush fire hazard management measure. Site visits confirmed that the Lemon beautyheads perennial herb can be readily observed in approximate area of the boundary fence (*i.e. both sides of the fence*) with

the Midlands highway the proposed subdivision lots (Picture #2 & #3). The Narrowleaf new-holland-daisy can be observed in approximate area to the boundary fence (*i.e. both sides of the fence*) with the Midlands highway and the proposed subdivision lots (Picture #4 & #5).

The proposed dwelling footprint and their Bush Fire Management Plan required clearance is contained within the minimum area necessary to be cleared to provide adequate bushfire protection and will not have an unnecessary or unacceptable impact on the priority vegetation (Appendix 1 & 2). Lot 2 and Lot 3 proposed dwelling footprint and their Bush Fire Plan provides an approximate 48 m buffer (*i.e. set back from the Midlands Highway boundary fence to the start of the required clearance zone*) and, generally a 10 m buffer from proposed internal boundaries of each Lot and this outcome effectively will not cause an impact on the preferred threatened species habit (Appendix 1 & 2).

Point (d). *any mitigation measures implemented to minimize the residual impacts on priority vegetation;*

This proposed 17 Oakwood Place subdivision has two Lots that are subject to a Priority Vegetation Area overlay. These land areas include Lot 2 and Lot 3 (Appendix 1, 2, 3, & 4). *theList* (DNRET 2023) TasVeg 4.0 overlay (*i.e. Vegetation Community Group & Description*) describes the vegetation as Modified Land (FAG) Agricultural Lands (Appendix 4). No mitigation outcomes would be required to minimize the residual impacts on the priority vegetation area.

The Lot 2 and Lot 3 proposed dwelling footprints and subsequent Bush Fire Management Plan (*i.e. Sam Walters, Bushfire Tasmania – Accreditation No. BFP – 130*) will impact on the defined Priority Vegetation Area overlay (Appendix 1 & 2). The Bush Fire Management Plan and the new dwelling building footprints will minimize any adverse impacts on the priority vegetation as the observed threatened species that persisted with this pastureland vegetation community appear to be in the more sheltered sites of the Priority Vegetation and will not be impacted.

Research and understanding of the Tasmania threatened species strategy will help mitigation (<https://nre.tas.gov.au/conservation/threatened-species-and-communities/threatened-species-strategy>) of any future risks to the priority vegetation area on Lot 2 and Lot 3.

Point (e). *any on-site biodiversity offsets; and*

This proposed 17 Oakwood subdivision has two Lots that are subject to a Priority Vegetation Area overlay. These land areas include Lot 2 and Lot 3 (Appendix 1, 2, 3, 4, & 5). *theList* (DNRET 2023) TasVeg 4.0 overlay (i.e. Vegetation Community Group & Description) describes the vegetation as Modified Land (FAG) Agricultural Lands (Appendix 4), and this was confirmed with site visits (Appendix 5). No on-site biodiversity offsets would be required to minimize the residual impacts on the priority vegetation area or the observed threatened species.

Point (f). *any existing cleared areas on the site.*

This proposed 17 Oakwood Place subdivision has two Lots that are subject to a Priority Vegetation Area overlay. These land areas include Lot 2 and Lot 3 (Appendix 1, 2, 3, & 4).

The Lot 2 and Lot 3 priority vegetation area presents as cleared grazing land (Picture #1). *theList* (DNRET 2023) TasVeg 4.0 overlay (i.e. Vegetation Community Group & Description) describes the vegetation as Modified Land (FAG) Agricultural Lands (Appendix 4). There were no cleared areas of pasture vegetation within the Priority Vegetation Area.

3. Reference and Bibliography

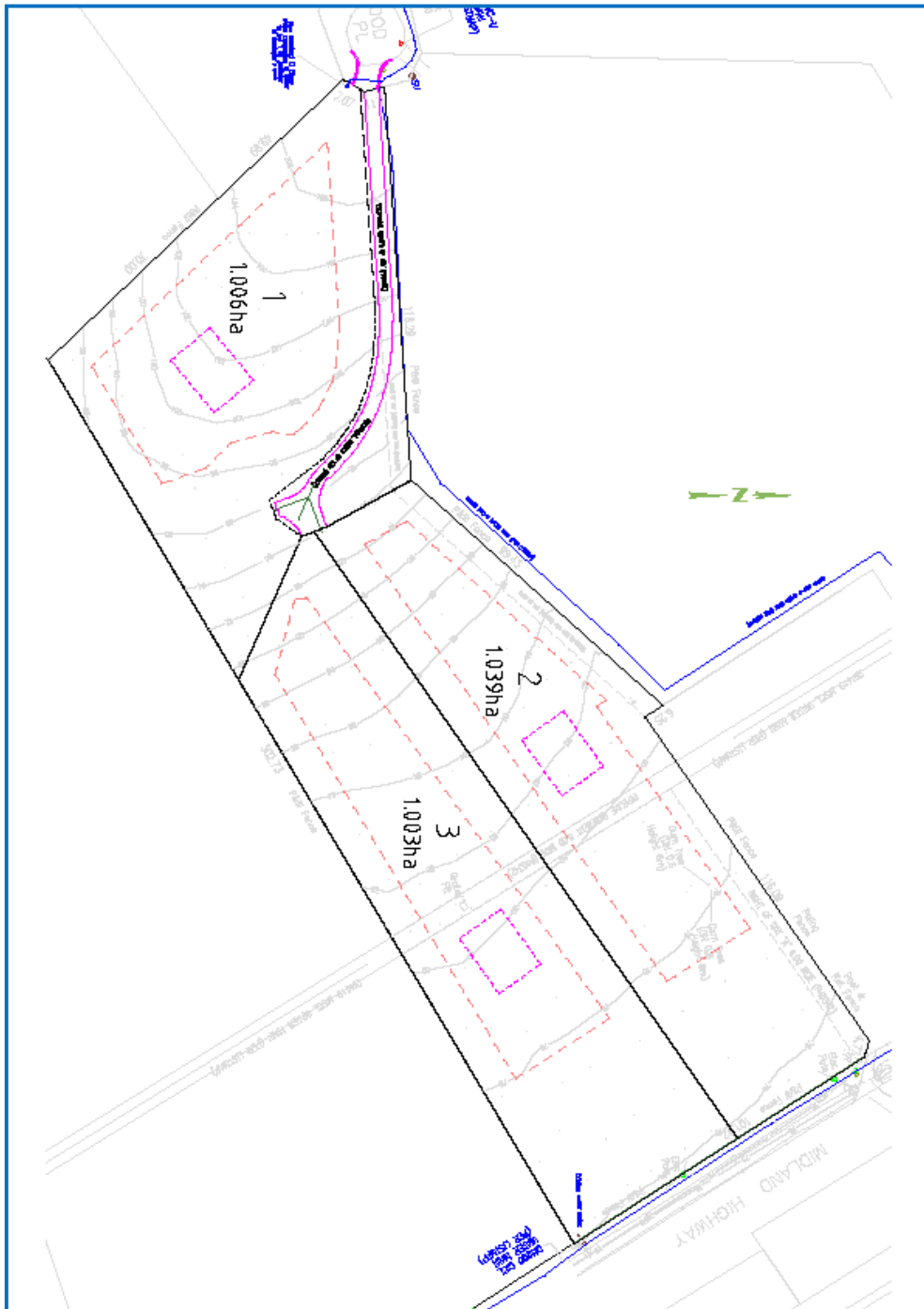
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4. Appendices

Appendix 1

Survey Map identifying the planned 17 Oakwood Place subdivision.

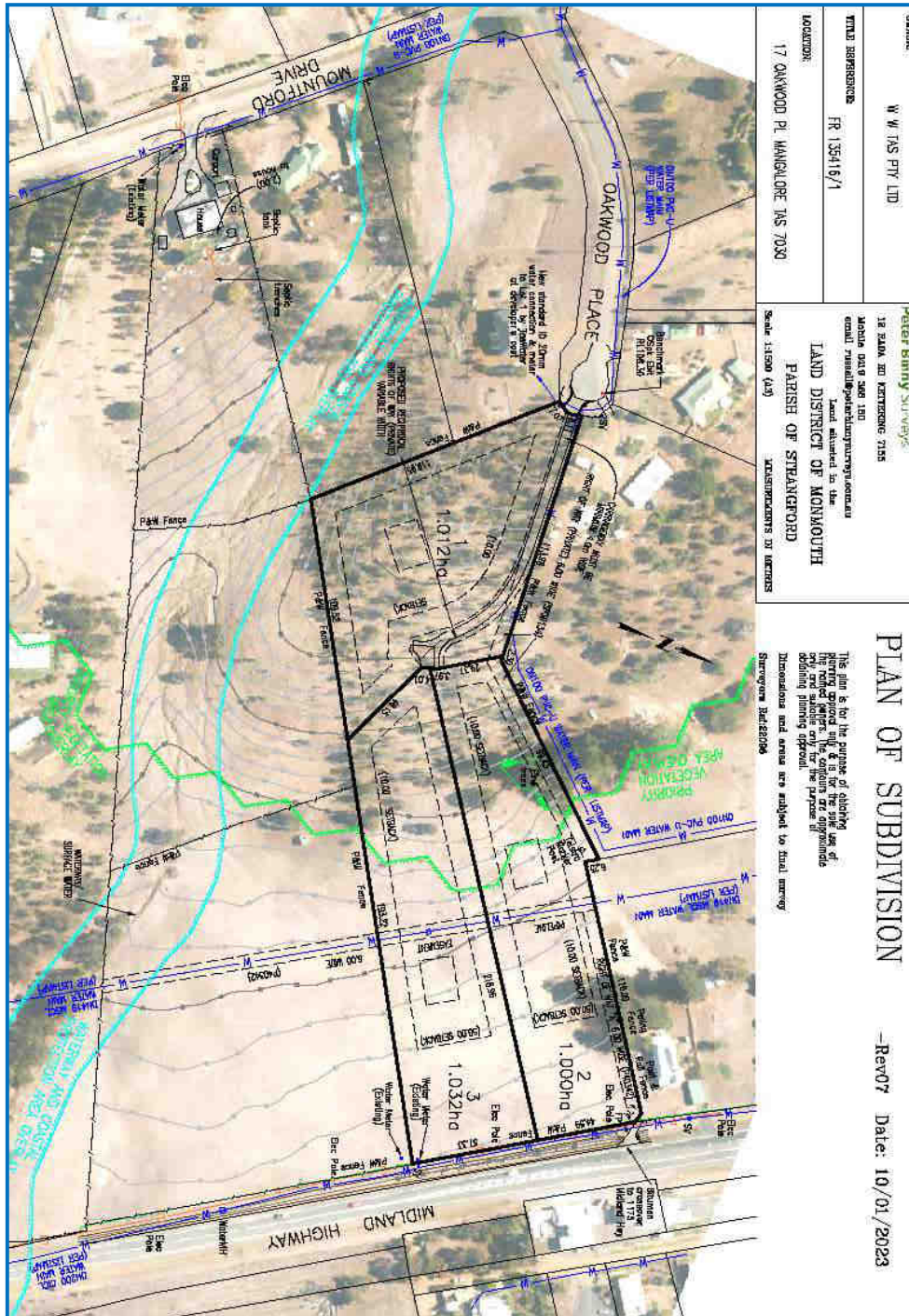
This map identifies the relevant size and the planned dwelling location for Lot 1, 2, &3 and defined Bush fire plan area for each lot (i.e., brown dotted line).



Appendix 2

Surveying Map identifying the 17 Oakwood Place subdivision and the defined Bushfire Plan for each of the planned Lot 1, Lot 2, and Lot 3 (i.e., black dotted lines).

The Map identifies the Priority Vegetation Area Overlay (i.e., green lines). This map demonstrates that Lot 2 and Lot 3 fall within the Priority Vegetation Area Overlay.



Appendix 3.

theList, ESRI Imagery map identifying the 17 Oakwood property subdivision (i.e. highlighted by red line)

The map displays the Threatened species code overlay (i.e. light blue lines) and Threatened species Flora Points (i.e. green triangle) in the localized area. The Midland Highway is a known area for threatened Tasmanian flora. The threatened species Lemon beautyheads (i.e. green triangle with blue dot) has been observed in the localised area of the Oakwood property subdivision. The Narrowleaf new-holland-daisy (i.e. green triangle with red dot) has been observed in along the boundary fence with the Midlands highway and Lot 3 (Appendix 1 & 2).

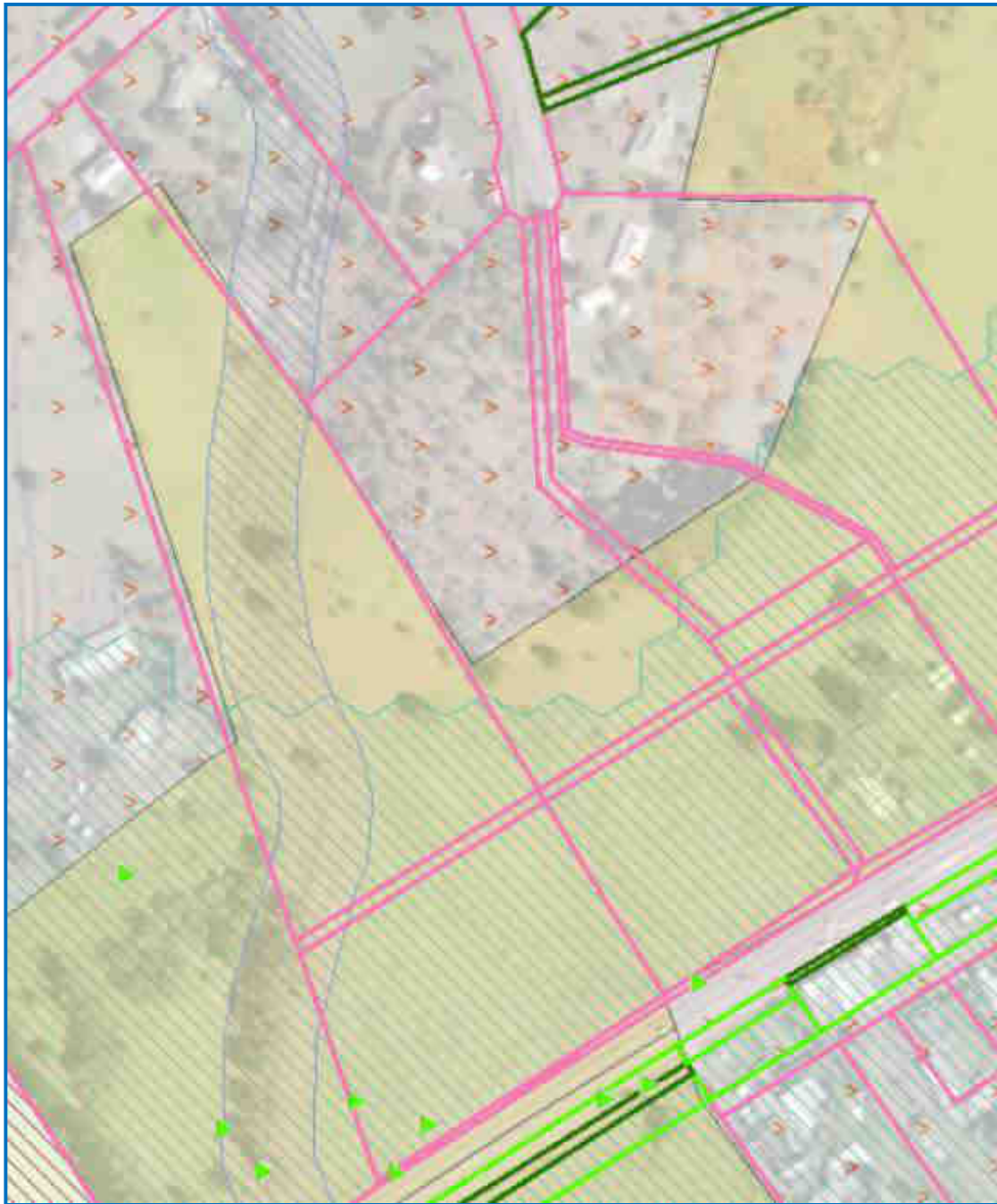


Appendix 4.

theList, ESRI Imagery map identifying Oakwood-Mountford properties subdivision

The map displays the Threatened species code overlay (i.e. light blue lines and Threatened species Flora Points (i.e. green triangle) in the localized area (Appendix 3).

The map displays TasVeg 4.0 overlay(i.e. Vegetation Community Group & Description) and identifies that the subdivision land area is either classified as Modified Land (FUR) Urban areas (i.e. Lot 1, Lot 2, & Lot 3) or Modified Land (FAG) Agricultural Lands (i.e. Lot 2 & Lot 3).



Appendix 5.

A site visit(s) (*i.e. by the author*) to the 17 Oakwood Place subdivision was conducted on Friday 9th & Monday 12th Dec 2022 and Wednesday 15th Jan 2023. The subdivision lots that are within the Threatened species overlay include Lot 2 and Lot 3 (Appendix 1, 2, & 3). The following list of pasture grass and clovers, agricultural weeds, perennial herbs, wildflower, woody weeds, and threatened species was noted during the visit(s) in the threatened species overlay area. The threatened species Lemon beautyheads was observed in general along the boundary fence at the known identified flora points. The threatened species Narrowleaf new-holland-daisy was only observed along the boundary fence at the known identified flora points. No threatened species was observed in the planned Lot 2 and Lot 3 area (Appendix 1, 2, 3, & 4).

Name	Genus	Feed value
a. Cocksfoot grass	<i>Dactylis glomerta</i>	pasture grass
b. Phalaris grass	<i>Phalaris aquatica</i>	pasture grass
c. Ryegrass	<i>Lolium spp.</i>	pasture grass
d. Soft brome	<i>Bromus hordeaceus</i>	pasture grass
e. Great Brome	<i>Bromus diandrus</i>	pasture grass
f. Spear Grass	<i>Bromus sp.</i>	pasture grass
g. Kangaroo grass	<i>Themeda triandra</i>	native grass / pasture grass
h. Fog Grass	<i>Holcus sp.</i>	low value pasture grass
i. Lovegrass	<i>Eragrostis spp.</i>	low value pasture grass
j. Creeping Bent grass	<i>Agrostis stolonifera</i>	low value pasture grass
k. Rats Tail grass	<i>Vulpia spp.</i>	low value pasture grass
l. Dog's Tail Grass	<i>Cynosurus echinatus</i>	low value pasture grass
m. Velvet grass	<i>Holcus lanatus</i>	low value pasture grass
n. Silver Hair grass	<i>Aira caryophylllea</i>	low value pasture grass
o. Barley grass	<i>Hordeum leporinum</i>	low value pasture grass
p. Feathertop grass	<i>Calamagrostis epigejos</i>	low value pasture grass
q. Hair grass	<i>Aira elegans</i>	low value pasture grass
r. Kentucky bluegrass	<i>Poa pratensis</i>	Turf grass
s. Clover spp	<i>Trifolium spp.</i>	Pasture species
t. Hop Trefoil	<i>Trifolium campestre</i>	Pasture species
u. Common Vetch	<i>Vicia sativa</i>	Pasture species
v. Wild Oats	<i>Avena sp.</i>	Pasture species / weed
w. Rope twitch	<i>Elymus repens</i>	agricultural weed
x. Silver grass	<i>Vulpia bromoides</i>	agricultural weed
y. Red Sorrel	<i>Rumex acetosella</i>	agricultural weed
z. Capeweed	<i>Arctotheca calendula</i>	agricultural weed
aa. Jerusalem star	<i>Tragopogon porrifolius</i>	agricultural weed
bb. Storksbill	<i>Erodium Spp.</i>	agricultural weed
cc. Buckthorn plantain	<i>Plantago lanceolata</i>	agricultural weed
dd. Great plantain	<i>Plantago major</i>	agricultural weed
ee. Cat's Ear (Flatweed)	<i>Hypochaeris glabra</i>	agricultural weed
ff. Hawkbit (Flatweed)	<i>Leontoden hispidus</i>	agricultural weed
gg. Dock	<i>Rumex sp.</i>	agricultural weed

hh.	Cut leaf mignonette	<i>Reseda luteola</i>	agricultural weed
ii.	Sow Thistle	<i>Sonchus spp</i>	agricultural weed
jj.	Scotch Thistle	<i>Cirsium vulgare</i>	agricultural weed
kk.	Cut-leaf mignonette	<i>Reseda lutea</i>	agricultural weed
ll.	Whiteweed	<i>Lepidium draba</i>	agricultural weed
mm.	Morning Glory	<i>Convolvulus cantabrica</i>	agricultural weed
nn.	Salad burnet	<i>Poterium sanguisorba</i>	perennial herb
oo.	Rose Heath	<i>Chaetopappa ericoides</i>	perennial herb
pp.	Onion Orchard	<i>Microtis unifolia</i>	perennial herb
qq.	Centaury	<i>Centaureum erythraea</i>	exotic wildflower
rr.	French broom	<i>Genista monspessulana</i>	agricultural weed
ss.	Fireweed (burnweed)	<i>Erechtities spp.</i>	agricultural weed
tt.	Nutgrass	<i>Cyperus eragrostis</i>	woody weed
uu.	Sedge	<i>Carex sp.</i>	woody weed
vv.	Spanish Heath	<i>Erica lusitanica</i>	woody weed
ww.	Common Juniper	<i>Juniperus spp.</i>	woody weed
xx.	Sweet briar	<i>Rosa rubiginosa</i>	woody weed
yy.	Blackberry	<i>Rubus ulmifolius</i>	woody weed
zz.	Box thorn	<i>Bursaria spinosa</i>	woody weed
aaa.	Hawthorn	<i>Crataegus monogyna</i>	woody weed
bbb.	Blackthorn	<i>Prunus spinosa</i>	woody weed
ccc.	Silver wattle	<i>Acacia dealbata</i>	woody weed
ddd.	Broom tea-tree	<i>Leptospermum spp.</i>	woody weed
eee.	Pine tree	<i>Pinus Radiata</i>	woody weed
fff.	Lemon beautyheads	<i>Calocephalus citreus</i>	Threatened specie
ggg.	Narrowleaf new-holland-daisy	<i>Vittadinia muelleri</i>	Threatened specie

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1 Introduction

Application is made for a three (3) lot subdivision at 17 Oakwood Court, Mangalore. The following documents are provided in support of the application:-

- The proposal plan by Peter Binny Surveys.
- The Bushfire Hazard Assessment Report by Mr Samuel Walters.
- The Natural Assets Code Response Report by Mr Rod Hancl.
- A Stormwater Report by Miss Anna Wilson.

1.1 The Existing Property

The subject property is located at 17 Oakwood Court, Mangalore and is 3.046ha in area. The property sits between Oakwood Court on the west and the Midland Highway on the east and is vacant.

The property has frontage to the Midland Highway however have no legal access to that Road.



Fig 1:- Google Earth image of the subject properties

1.2 Natural Values

17 Oakwood Court has been grazed extensively and the eastern half of the property has been slashed over the same timeframe. There are no natural drainage lines across the property.

A “Natural Assets Code Response Report “ has been provided by Mr Rod Hancl.

A “Bushfire Hazard Report” has been provided by Mr Samuel Walters.

2 The Proposal

It is proposed that the land at 17 Oakwood Court, Mangalore be subdivided into three (3) lots (see Fig 2 – Proposed Plan of Subdivision).

The intent of the proposal is to provide rural residential lots that are appropriately sized and complement the existing character of the area.

All lots are greater than 1ha and have access from a new shared driveway constructed off the end of Oakwood Drive. Lot 1 will have a new water and power supply from Oakwood Court. Lots 2 and 3 will access the existing overhead power at the Midland Highway frontage. Lot 3 will utilise the existing water connection on the southeast corner of the property and Lot 2 is greater than 30 metres from the Oakwood Court water infrastructure and will be without a water connection.

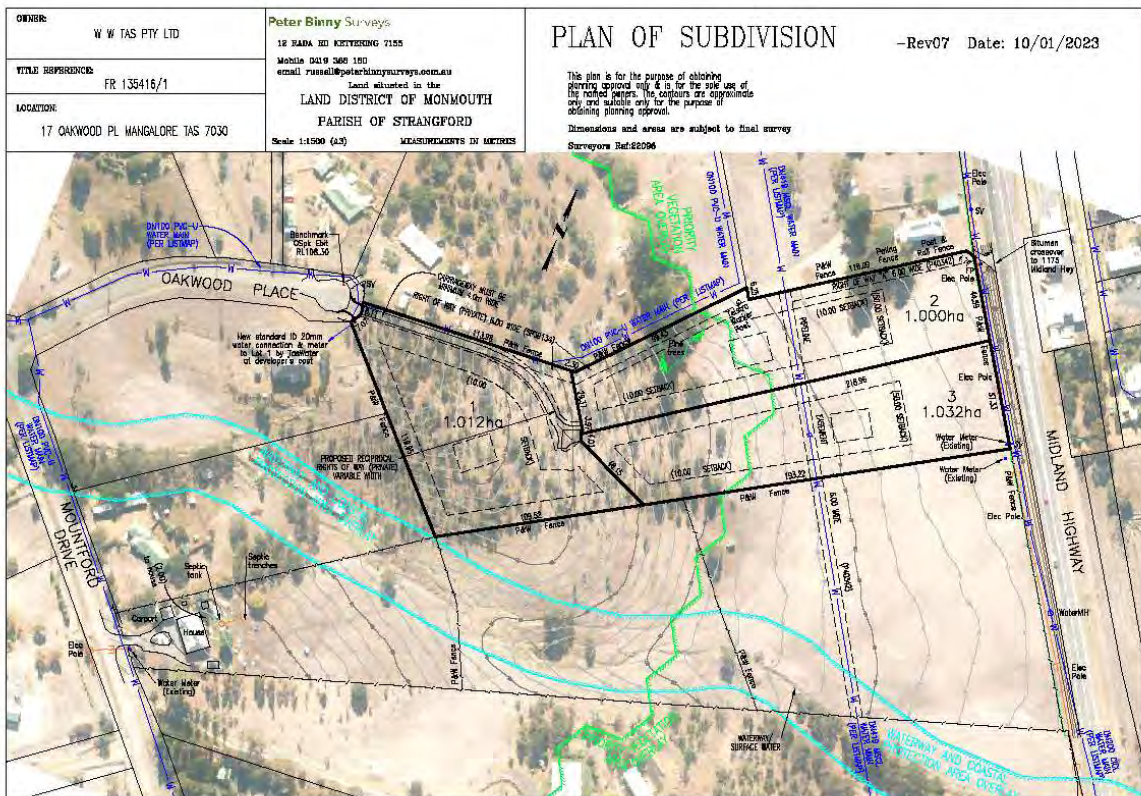


Fig 2:- Proposed Plan of Subdivision

3 Planning Assessment

This proposal is a subdivision in accordance with S.57 of the Land Use Planning and Approvals Act 1993 and Clause 6.8 of the Tasmanian Planning Scheme – Southern Midlands.

3.1 Zoning

The subject property is zoned Rural Living A as defined by the Tasmania Planning Scheme – Southern Midlands (see Fig 3 – *TheList – Rural Living A Zone*). The land is surrounded to the North, South and West with land also zoned Rural Living A. Land on the eastern side of the Midland Highway is zoned Rural.

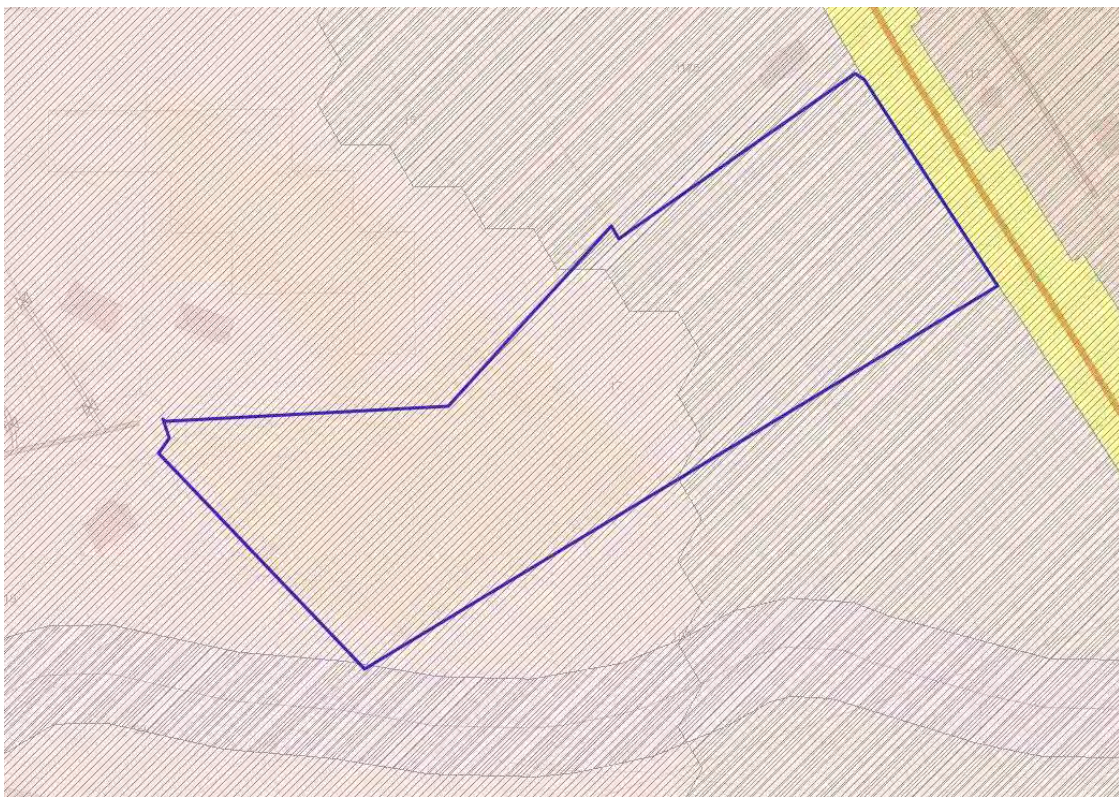


Fig 3:- *TheList – Rural Living A Zone*

3.2 Zone Standards – Rural Living A

11.5.1 Lot design

Objective:	
That each lot: (a) has an area and dimensions appropriate for use and development in the zone; (b) is provided with appropriate access to a road; and (c) contains areas which are suitable for residential development.	
Acceptable Solutions	Performance Criteria
<p>A1 Each lot, or a lot proposed in a plan of subdivision, must:</p> <p>(a) have an area not less than specified in Table 11.1 and:</p> <p>(i) be able to contain a minimum area of 15m x 20m clear of:</p> <p>a. all setbacks required by clause 11.4.2 A2 and A3; and</p> <p>b. easements or other title restrictions that limit or restrict development; and</p> <p>(ii) existing buildings are consistent with the setback required by clause 11.4.2 A2 and A3;</p> <p>(b) be required for public use by the Crown, a council or a State authority;</p> <p>(c) be required for the provision of Utilities; or</p> <p>(d) be for the consolidation of a lot with another lot provided each lot is within the same zone.</p>	<p>P1 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have sufficient useable area and dimensions suitable for its intended use, having regard to:</p> <p>(a) the relevant requirements for development of existing buildings on the lots;</p> <p>(b) the intended location of buildings on the lots;</p> <p>(c) the topography of the site;</p> <p>(d) any natural or landscape values;</p> <p>(e) adequate provision of private open space; and</p> <p>(f) the pattern of development existing on established properties in the area, and must be no more than 20% smaller than the applicable lot size required by clause 11.5.1 A1.</p>

Response

Compliance with the acceptable solution for the following reasons:-

- a) All lots are greater than 1.00ha and meet the minimum lot size requirements of Table 11.1 (See Fig 4 - Table 11.1 *Rural Living minimum lots sizes*).

Each Lot can contain a minimum building area of 15m X 20m clear of all setbacks and bushfire constraints as depicted by the proposal plan.

There is a right of way on the northern side of the property, but it does not affect the allowable building area and there is adequate building area on either side of the pipeline easement on lots 2 and 3.

There are no existing buildings on the property. The pattern of rural residential lots of this size is reflected in the existing estate surrounding the subdivision. Lots of this density and character occur on adjoining properties and directly across the Highway.

<i>Rural Living Zone A</i>	<i>1ha</i>
<i>Rural Living Zone B</i>	<i>2ha</i>
<i>Rural Living Zone C</i>	<i>5ha</i>
<i>Rural Living Zone D</i>	<i>10ha</i>

Fig 4:- Table 11.1 Rural Living Zone minimum lot sizes

<p>A2 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must have a frontage not less than 40m.</p>	<p>P2 Each lot, or a lot proposed in a plan of subdivision, must be provided with a frontage or legal connection to a road by a right of carriageway, that is sufficient for the intended use, having regard to: (a) the width of frontage proposed, if any; (b) the number of other lots which have the land subject to the right of carriageway as their sole or principal means of access; (c) the topography of the site; (d) the functionality and useability of the frontage; (e) the ability to manoeuvre vehicles on the site; and (f) the pattern of development existing on established properties in the area, and is not less than 3.6m wide.</p>
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Response

Compliance with the performance criteria for the following reasons:-

- a) Lot 1 has frontage of 13.18 metres to Oakwood Court. That frontage provides adequate width for access to Lot 1 and shared right of way access to Lots 2 and 3. The Oakwood Court frontage provides adequate width to comply with Table C13.2 (B) in the Tasmanian Planning Scheme (see Fig 5).
- b) The access has a minimum width of 4 metres and will be constructed to Council standard. The driveway will cater for the vehicle movements of two residential lots (i.e. 16 vehicle movements per day).
- c) Access from Oakwood Court begins on a flat grade at the frontage. The carriageway increases in slope to a maximum of approximately 16.22% (1 in 6.17). Before levelling off along parallel to the contour. The geology of the road alignment is rocky and the well-draining. A stormwater report has been provided for the satisfactory control of runoff from the road.
- d) The frontage is at the conclusion of the existing cul-de-sac. It is ideally located for the driveway to continue onwards to the new lots.

- e) The carriageway will be constructed to allow for the manoeuvrability of both cars and heavy vehicles (including fire trucks) in accordance with the Bushfire-Prone Areas Code.
- f) The private carriageway reflects the existing character of the established properties with many having neighbouring internal accessways, long driveways or shared accesses. The frontages are all over 3.6 metres.

B.	Property access length is 30m or greater; or access is required for a fire appliance to a fire fighting water point.	<p>The following design and construction requirements apply to property access:</p> <ul style="list-style-type: none"> (a) all-weather construction; (b) load capacity of at least 20t, including for bridges and culverts; (c) minimum carriageway width of 4m; (d) minimum vertical clearance of 4m; (e) minimum horizontal clearance of 0.5m from the edge of the carriageway; (f) cross falls of less than 3 degrees (1:20 or 5%); (g) dips less than 7 degrees (1:8 or 12.5%) entry and exit angle; (h) curves with a minimum inner radius of 10m; (i) maximum gradient of 15 degrees (1:3.5 or 28%) for sealed roads, and 10 degrees (1:5.5 or 18%) for unsealed roads; and (j) terminate with a turning area for fire appliances provided by one of the following: <ul style="list-style-type: none"> (i) a turning circle with a minimum outer radius of 10m; or (ii) a property access encircling the building; or (iii) a hammerhead "T" or "Y" turning head 4m wide and 8m long.
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Fig 5: - Tasmanian Planning Scheme – Table C13.2: Standards for Property Access

A3	Each lot, or a lot proposed in a plan of subdivision, must be provided with a vehicular access from the boundary of the lot to a road in accordance with the requirements of the road authority.	P3	Each lot, or a lot proposed in a plan of subdivision, must be provided with reasonable vehicular access to a boundary of a lot or building area on the lot, if any, having regard to: <ul style="list-style-type: none"> (a) the topography of the site; (b) the length of the access; (c) the distance between the lot or building area and the carriageway; (d) the nature of the road and the traffic; (e) the anticipated nature of vehicles likely to access the site; and (f) the ability for emergency services to access the site.
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Response

Compliance with the acceptable solution for the following reasons:-

Access to Lots 1-3 is via a shared driveway that utilises the existing frontage of 17 Oakwood Court. The typography of the driveway allows for easy access with respect to slope and design. The driveway is approximately 135 metres long from the frontage to the furthest edge of the right of way. The driveway is constructed to comply with both Council standard drawings and Bushfire-Prone standards.

11.5.2 Roads

Objective:	
<i>That the arrangement of new roads with a subdivision provides:</i>	
<i>(a) safe, convenient and efficient connections to assist accessibility and mobility of the community;</i>	
<i>(b) adequate accommodation of vehicular, pedestrian, cycling and public transport traffic; and</i>	
<i>(c) the efficient ultimate subdivision of the entirety of the land and of surrounding land.</i>	
Acceptable Solutions	Performance Criteria
A1 <i>The subdivision includes no new roads.</i>	P1 <i>The arrangement and construction of roads within a subdivision must provide an appropriate level of access, connectivity, safety, convenience and legibility for vehicles, having regard to:</i> <i>(a) any relevant road network plan adopted by the council;</i> <i>(b) the existing and proposed road hierarchy;</i> <i>(c) maximising connectivity with the surrounding road network;</i> <i>(d) appropriate access to public transport; and</i> <i>(e) access for pedestrians and cyclists.</i>

Response

Although the new development technically does not contain a new road that is adopted and maintained by Council, the driveway being provided will provide the same amenity as a new road. The shared driveway will be formed to a standard approved by Council and will be constructed to comply with the *Bushfire-Prone Areas Code*.

The driveway will provide a safe and convenient level of access, which is both comparative to the existing road network and hierarchy.

Public transport will not access the driveway, but the level of construction would cater for the same standard of vehicles as Oakwood Court.

There is adequate width to allow for shared access with vehicles, pedestrian and/or cyclists.

11.5.3 Services

Objective:	
<i>That the subdivision of land provides services for the future use and development of the land.</i>	
Acceptable Solutions	Performance Criteria
<p>A1 Each lot, or a lot proposed in a plan of subdivision, excluding for public open space, a riparian or littoral reserve or Utilities, must:</p> <p>(a) be connected to a full water supply service if the frontage of the lot is within 30m of a full water supply service; or</p> <p>(b) be connected to a limited water supply service if the frontage of the lot is within 30m of a limited water supply service,</p> <p>unless a regulated entity advises that the lot is unable to be connected to the relevant water supply service.</p>	<p>P1 No Performance Criterion.</p>

Response

- a) An existing full water connections is already available for lot 3. It is proposed to seek a full water connections for lots 1 from the existing main in Oakwood Court. Lot 2 is not within 30 metres of the main and will not be provided with a water connection.

11.4.2 Building height, setback and siting

<p>A4 Buildings for a sensitive use must be separated from an Agriculture Zone or Rural Zone a distance of:</p> <p>(a) not less than 200m; or</p> <p>(b) if the setback of an existing building is within 200m, not less than the existing building.</p>	<p>P4 Buildings for a sensitive use must be sited so as to not conflict or interfere with uses in the Agriculture Zone or Rural Zone, having regard to:</p> <p>(a) the size, shape and topography of the site;</p> <p>(b) the separation of any existing buildings for sensitive uses on adjoining properties;</p> <p>(c) the existing and potential use of adjoining properties;</p> <p>(d) any proposed attenuation measures; and</p> <p>(e) any buffers created by natural or other features.</p>
---	---

The subject property is zoned Rural Living A. Properties neighbouring the subject property on the north-west, south-west and south-east boundaries are all also zoned Rural Living (see Fig 6 – *Surrounding Properties*). These properties have existing dwellings and are generally grazed with livestock. The north-eastern boundary fronts the Midland Highway. The highway reservation is approximately 30 metres wide and

provides a significant physical impediment. The closest properties on eastern side of the Midland Highway are zoned Rural. These properties vary in size from 1500m² to 8ha (see Fig 7) but are generally also rural residential in character and amenity. The largest property is not being used for intensive agriculture. It is grazed and is used for hay production in the summer months.



Fig 6: - Surrounding zones – Tasmanian Planning Scheme – Southern Midlands

Address	Area	Character	Use
16 Ballyhooly Road	0.40ha	Rural residential	Dwelling
11 Lowries Road	2.50ha	Rural residential	Dwelling & Grazing
17 Lowries Road	1.30ha	Rural residential	Dwelling
1164 Midland Highway	1.60ha	Rural residential	Dwelling & Kennel
1172 Midland Highway	0.15ha	Commercial	Service Station
Midland Highway (vacant)	8.00ha	Rural	Pasture (Grazing & Hay)

Fig 7: - Nearby properties on the Eastern side of the Midland Highway (Zoned Rural)

Response

Compliance with the performance criteria for the following reasons:-

- a) Lots 2 and 3 are designed to maximise the separation from the Rural Zone. The lots are deep, and the building areas are sited a minimum of 50 metres from the highway reservation and the highway reservation is 30 metres wide. Therefore, the closest a dwelling could be sited to rural zone is 80 metres on these lots. This separation is more than adequate to not create any conflict with the limited rural activities within 200 metres of the building areas.

- b) The minimum separation of 80 metres is greater than the setbacks of existing sensitive uses from Rural zoned land in the nearby vicinity (see Fig 8 below).

Address	Existing separation from sensitive uses
16 Ballyhooly Road	22 metres
11 Lowries Road	7 metres
17 Lowries Road	16 metres
1140 Midland Highway	25 metres
1164 Midland Highway	28 metres
1172 Midland Highway	70 metres
1175 Midland Highway	61 metres

Fig 8: - Nearby properties on the Eastern side of the Midland Highway (Zoned Rural)

- c) The neighbouring Rural zoned land is used for grazing and hay production and there would be no conflict between the proposed lots and these activities. Any possible more intense cropping would still have minimal impact given the setback and the existing closer sensitive uses.
- d) There are no further proposed attenuation measures as there is significant separation provided by the required highway.
- e) There is a physical buffer created by the existing Midland Highway reservation.

3.3 Codes

The subject properties are overlaid with a Bushfire Prone and Priority Vegetation Area as shown below in Figure 6.

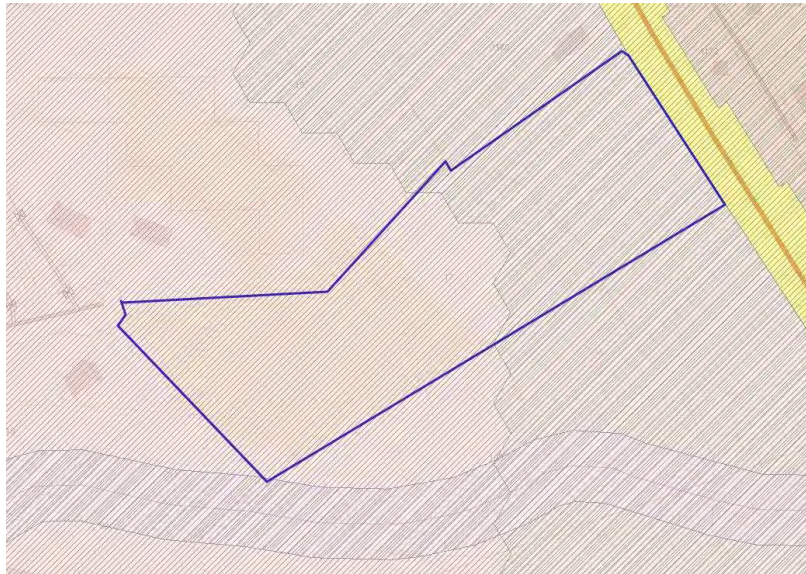


Fig 9:– Tasmanian Planning Scheme – Southern Midlands - Code Overlays

The subdivision also requires the following Codes under the Tasmanian Planning Scheme – Southern Midlands to be considered.

Code	Comment
C1.0 Signs Code	N/A
C2.0 Parking & Sustainable Transport Code	Comments below
C3.0 Road and Railway Assets Code	Comments below
C4.0 Electricity Transmission Infrastructure	N/A
C5.0 Telecommunications Code	N/A
C6.0 Local Historic Heritage Code	N/A
C7.0 Natural Assets Code	Prepared by Mr Rod Hancl - attached
C8.0 Scenic Protection Code	N/A
C9.0 Attenuation Code	N/A
C10.0 Coastal Erosion Hazard Code	N/A
C11.0 Coastal Inundation Hazard Code	N/A
C12.0 Flood-Prone Areas Hazard Code	N/A
C13.0 Bushfire-Prone Areas Code	Prepared by Mr Samuel Walters - attached
C14.0 Potentially Contaminated Land Code	N/A
C15.0 Landslip Hazard Code	N/A
C16.0 Safeguarding of Airports Code	N/A

3.4 Code Standards

C2.0 Parking and Sustainable Transport Code

C2.6 Development Standards for Buildings and Works

C2.6.3 Number of accesses for vehicles

Objective:

That:

- (a) access to land is provided which is safe and efficient for users of the land and all road network users, including but not limited to drivers, passengers, pedestrians and cyclists by minimising the number of vehicle accesses;*
- (b) accesses do not cause an unreasonable loss of amenity of adjoining uses; and*
- (c) the number of accesses minimise impacts on the streetscape.*

Acceptable Solutions

A1

The number of accesses provided for each frontage must:

- (a) be no more than 1; or*
- (b) no more than the existing number of accesses,*
whichever is the greater.

Response

Compliance with the acceptable solution as there is only one access from the Oakwood Court road frontage.

C3.0 Road and Railway Assets Code

C3.7 Development Standards for Subdivision

C3.7.1 Subdivision for sensitive uses within a road or railway attenuation area

Objective:

To minimise the effects of noise, vibration, light and air emissions on lots for sensitive uses within a road or railway attenuation area, from existing and future major roads and the rail network.

Acceptable Solutions

A1

A lot, or a lot proposed in a plan of subdivision, intended for a sensitive use must have a building area for the sensitive use that is not within a road or railway attenuation area.

road or railway attenuation area	<p>means a road or railway attenuation area shown on an overlay map in the relevant Local Provisions Schedule or, if not shown, an area within 50m of the boundary of:</p> <ul style="list-style-type: none"> (a) a major road with a speed limit above 60km/h; (b) the rail network; (c) a future major road; or (d) a future railway.
----------------------------------	---

Response

Compliance with the acceptable solution as building areas are a minimum of 50 metres from the Midland Highway attenuation area.

C7.0 Natural Assets Code

C7.7 Development Standards for Subdivision

C7.7.2 Subdivision within a priority vegetation area

Objective:	
<p><i>That:</i></p> <ul style="list-style-type: none"> (a) works associated with subdivision will not have an unnecessary or unacceptable impact on priority vegetation; and (b) future development likely to be facilitated by subdivision is unlikely to lead to an unnecessary or unacceptable impact on priority vegetation. 	
Acceptable Solutions	Performance Criteria
<p>A1 Each lot, or a lot proposed in a plan of subdivision, within a priority vegetation area must:</p> <ul style="list-style-type: none"> (a) be for the purposes of creating separate lots for existing buildings; (b) be required for public use by the Crown, a council, or a State authority; (c) be required for the provision of Utilities; (d) be for the consolidation of a lot; or (e) not include any works (excluding boundary fencing), building area, bushfire hazard management area, services or vehicular access within a priority vegetation area. 	<p>P1.1 Each lot, or a lot proposed in a plan of subdivision, within a priority vegetation area must be for:</p> <ul style="list-style-type: none"> (a) subdivision for an existing use on the site, provided any clearance is contained within the minimum area necessary to be cleared to provide adequate bushfire protection, as recommended by the Tasmania Fire Service or an accredited person; (b) subdivision for the construction of a single dwelling or an associated outbuilding; (c) subdivision in the General Residential Zone or Low Density Residential Zone; (d) use or development that will result in significant long term social and economic benefits and there is no feasible alternative location or design; (e) subdivision involving clearance of native vegetation where it is demonstrated that on-going pre-existing management cannot ensure the survival of the priority vegetation and there is little potential for long-term persistence; or

	<p>(f) <i>subdivision involving clearance of native vegetation that is of limited scale relative to the extent of priority vegetation on the site.</i></p> <p>P1.2 <i>Works association with subdivision within a priority vegetation area must minimise adverse impacts on priority vegetation, having regard to:</i></p> <p>(a) <i>the design and location of any works, future development likely to be facilitated by the subdivision, and any constraints such as topography or land hazards;</i></p> <p>(b) <i>any particular requirements for the works and future development likely to be facilitated by the subdivision;</i></p> <p>(c) <i>the need to minimise impacts resulting from bushfire hazard management measures through siting and fire-resistant design of any future habitable buildings;</i></p> <p>(d) <i>any mitigation measures implemented to minimise the residual impacts on priority vegetation;</i></p> <p>(e) <i>any on-site biodiversity offsets; and</i></p> <p>(f) <i>any existing cleared areas on the site.</i></p>
--	--

Response P1.1

Each lot within the subdivision is for the construction of a single dwelling or and associated outbuilding. The subdivision and future single dwellings will not involve the clearance of priority vegetation.

Compliance with the Performance Criteria as per pages 7-8 of the Natural Assets Code Response Report by Mr Rod Hancl.

Response P1.2

The subdivision works and future single dwellings works will not involve the clearance of priority vegetation.

Compliance with the Performance Criteria as per pages 9-12 of the Natural Assets Code Response Report by Mr Rod Hancl.

C13.0 Bushfire Prone Areas Code

A Bushfire Hazard Assessment and Bushfire Management Plan has been prepared for the subdivision by Mr Samuel Walters of Bushfire Tasmania. Mr Walters' report provides the following conclusion:-

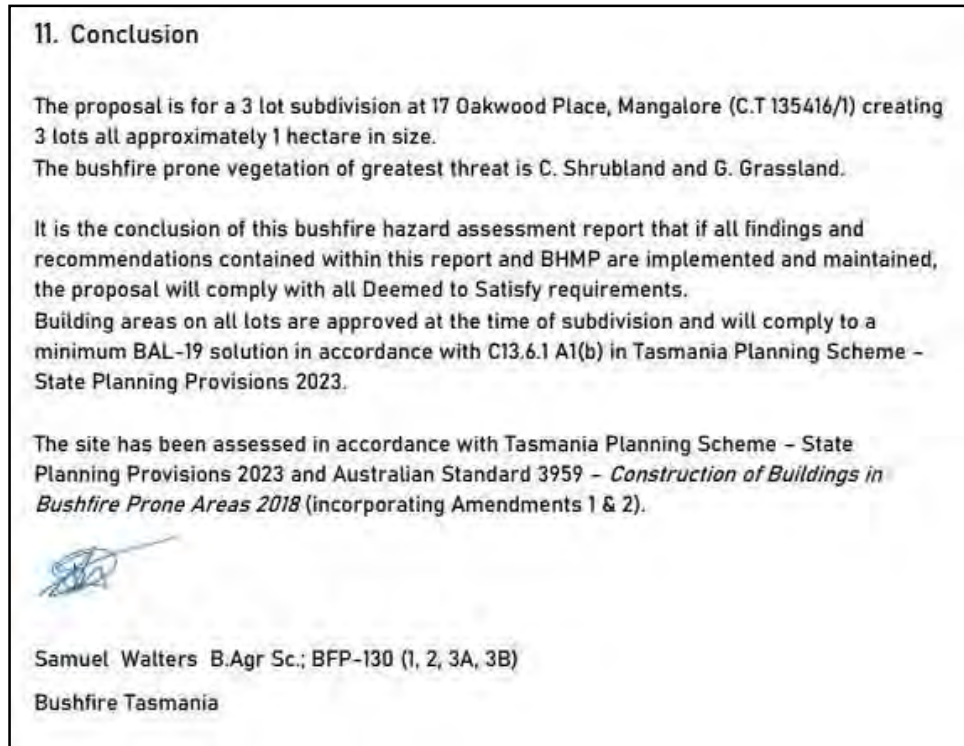


Fig 10:- Extract from Bushfire Hazard Assessment Report

Recommendations from the Bushfire Hazard Assessment Report to achieve a minimum BAL rating of BAL-19 are provided on pages 24 and 25.

3.5 Stormwater Assessment

A stormwater assessment was completed by Ms Anna Wilson. The report provides that:-

The driveway location adjacent to the boundary falls towards the neighbouring property. Water will need to be retained to predevelopment rates on subdivision. Note that the distance and grade from the shared driveway to the highway is sufficient to create no increase in risk to the highway. There is sufficient overland flow to infiltrate the water from the shared driveway prior to entering the highway drainage.

A detention basin of volume 17.6m² will be sufficient to manage the flow from this driveway.

Recommendations

- 1. A spoon drain on northern side of the driveway should be included in the driveway design ensuring flow does not flow north into the neighbour's property. Dimensions approx. 600mm x 150mm.*
- 2. A small detention basin with volume 17.6m² should be constructed in the location shown below with the drain directed into the detention basin. The basin should be topsoiled and grassed.*

4 Conclusion

The planning assessment and supporting documentation demonstrates that the proposed subdivision at 17 Oakwood Court, Mangalore meets all the requirements of the Tasmanian Planning Scheme – Southern Midlands.



Michael Whelan

Stormwater report

3 lot subdivision- 17 Oakwood Court

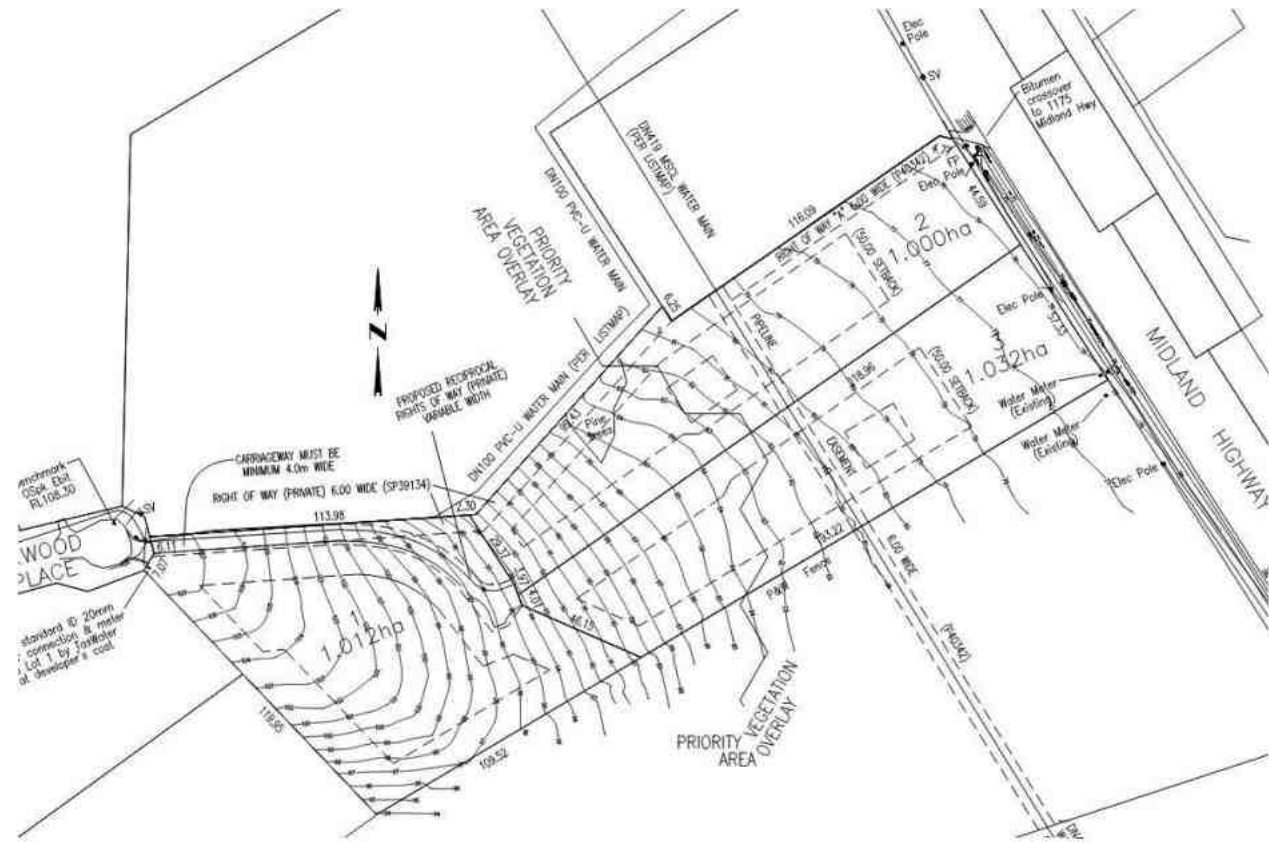
Mangalore

REPORT BY

Anna Wilson B.Eng Env
0400 415 322
06/09/2023

CLIENT

WWTAS P/L
Michael Whelan
0409 416 353



Background Information

A stormwater assessment was requested for a 3 lot subdivision at 17 Oakwood Court Mangalore.

This report assess the stormwater impact of the proposed shared driveway for the 3 lots and proposes mitigation measures.

The site slopes to the north east and is bounded by private property along the northwest, south east and southwest boundaries and the Midland Highway on the northeast boundary. It is assumed there is no capacity for stormwater in the open drain along the Midland Highway.

The lot is accessed from Oakwood Court, no flow from Oakwood Court is likely to come down the proposed shared driveway.

17 Oakwood Shared Driveway data	
top contour m	107
base contour m	95
length m	130
Grade %	9.230769
width av. m	5
area (A) m2	650

Site inspection on 04/09/2023.



Figure 1 Site showing location of boundary - orange and approximate driveway location - blue

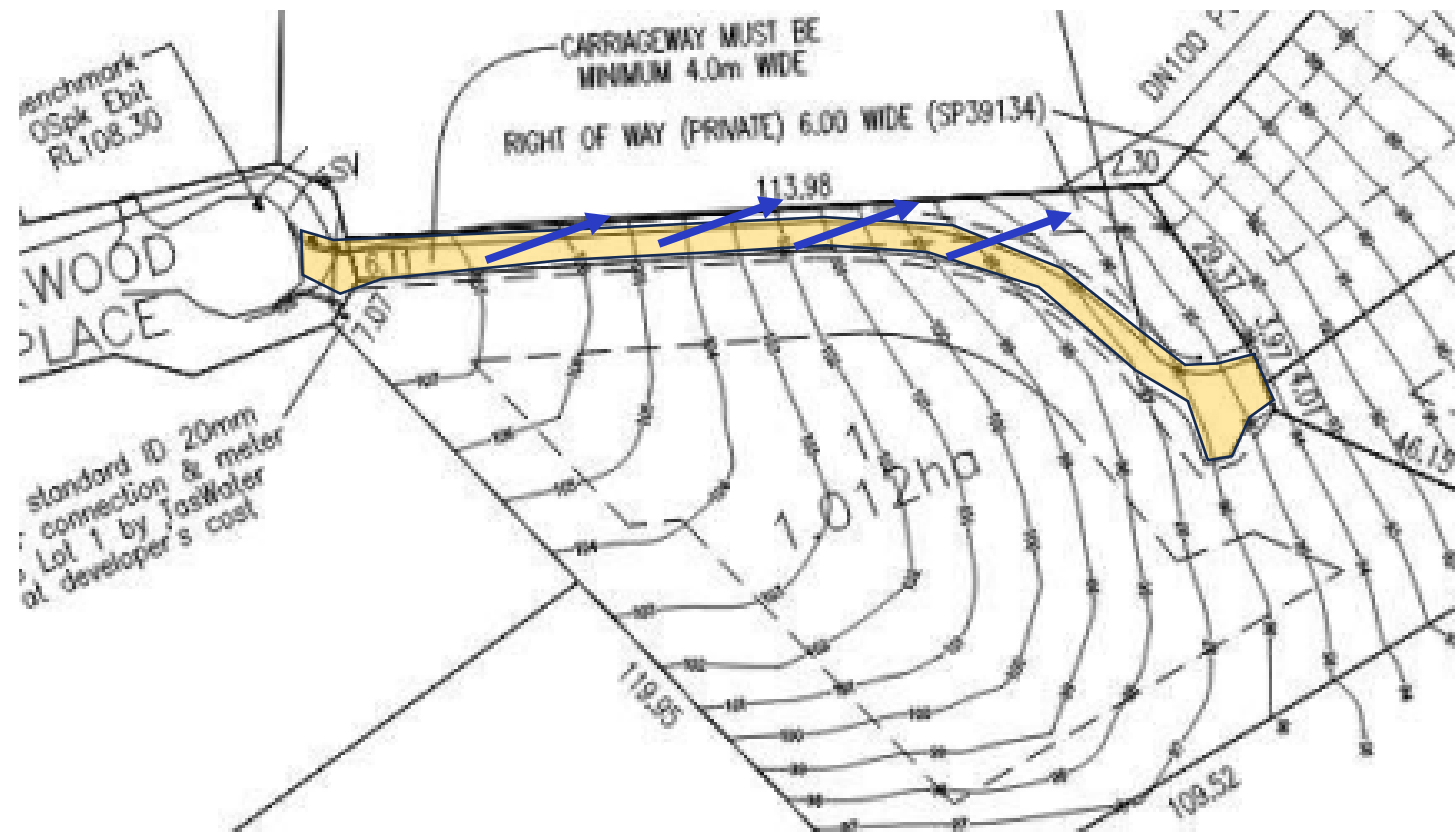
Duration	Annual Exceedance Probability (AEP)						
	63.2%	50%#	20%*	10%	5%	2%	1%
1 min	59.5	67.5	94.6	115	136	166	190
2 min	51.2	57.8	79.3	94.4	110	128	142
3 min	45.2	51.1	70.4	84.2	98.1	116	129
4 min	40.7	46.1	63.9	76.7	89.9	107	121
5 min	37.2	42.2	58.8	70.8	83.3	100	114
10 min	27.0	30.7	43.2	52.6	62.4	77.0	89.1
15 min	21.9	24.9	35.1	42.8	50.9	62.9	73.0
20 min	18.8	21.4	30.1	36.6	43.5	53.6	62.0
25 min	16.6	18.9	26.5	32.2	38.2	46.9	54.1
30 min	15.0	17.1	23.9	29.0	34.3	41.9	48.1
45 min	12.0	13.6	18.9	22.8	26.8	32.3	36.7
1 hour	10.2	11.6	16.0	19.2	22.4	26.7	30.2

Note:
The 50% AEP IFD does not correspond to the 2 year Average Recurrence Interval (ARI) IFD. Rather it corresponds to the 1.44 ARI.
* The 20% AEP IFD does not correspond to the 5 year Average Recurrence Interval (ARI) IFD. Rather it corresponds to the 4.48 ARI.

Figure 2 AEP data from Bureau of Meteorology. Accessed 6/9/2023

Issues

The driveway location adjacent to the boundary falls towards the neighboring property. Water will need to be retained to predevelopment rates on subdivision. Note that the distance and grade from the shared driveway to the highway is sufficient to create no increase in risk to the highway. There is sufficient overland flow to infiltrate the water from the shared driveway prior to entering the highway drainage.



Stormwater calculations.

Flow rate

The rational method has been used to assess flow rates to calculate size of any drain required. It is appropriate for this analysis.

$$Q_y = (C_y \cdot I_y \cdot A) / 360 \quad (4.2)$$

where:

- Q_y = peak flow rate (m³/s) for annual exceedence probability (AEP) of 1 in 'y' years
- C_y = coefficient of discharge (dimensionless) for AEP of 1 in 'y' years
- A = area of catchment (ha)
- I_y = average rainfall intensity (mm/h) for a design duration of 't' hours and an AEP of 1 in 'y' years
- t = the nominal design storm duration as defined by the time of concentration (t_c)

Figure 3 Rational method - Queensland Urban Drainage Manual 2013 p4-7

Value	Description	Result
f_i	Fraction impervious driveway	0.9
${}^1I_{10}$	1hr intensity for 10% AEP mm/hr	19.2
F_y	frequency factor for 1 % event	1.2
C_{10}	10 yr discharge coefficient for 1.00	0.9
C_y	$C_y = F_y \cdot C_{10}$	1.08
${}^{10}I_1$	I_y 10 min event intensity for 1% event mm/h	89.1
A	Area ha	0.065
Q_y (m3/s)	$Q_y = C_y \cdot I_y \cdot A$	0.016088

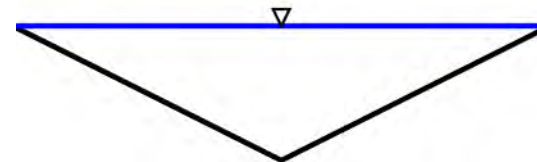
Drain dimensions

An asphalt spoon drain on the northern side of the driveway with dimensions of 600mm width and 150mm depth will be more than sufficient to carry 0.0161 m³/s

17 Oakwood Court Mangalore

Driveway channel calculation

Inputs		Results	
Bottom width, b	0 m	Flow area, a	0.0450 m ²
Side slope 1 (horiz./vert.)	2	Velocity, v	3.1298 m/s
Side slope 2 (horiz./vert.)	2	Flow, Q (See notes)	0.1408 m³/s
Manning roughness, n ? <input type="radio"/> Strickler <input type="radio"/> B/B (See notes)	0.016	Top width, T	0.6000 m
Channel slope, S	9.2 % rise/run		
Flow depth, y	0.15 m		



On site detention

The onsite detention calculator by Cleanstormwater has been used to estimate flows from the driveway and required detention.

The Rational method has been used for assessment. Average grassland has been assumed and 16.3% increase in flows for climate change has been added. The following calculations are for a 1% event.

A detention basin of volume 17.6m² will be sufficient to manage the flow from this driveway.

The detention basin should be designed with sides no steeper than 1:4 covered in site topsoil and grassed sides and base.

OSD Results								
Above ground Storage			Below ground Pipe			Below ground Tank		
Permissible Discharge	On site detention volume	Orifice Diameter	Permissible Discharge	On site detention volume	Orifice Diameter	Permissible Discharge	On site detention volume	Orifice Diameter
1.55 L/s	17.67 m ³	N/A	1.55 L/s	17.67 m ³	N/A	1.55 L/s	17.67 m ³	N/A

Figure 4 Clean storm water OSD results - Rational Formula.

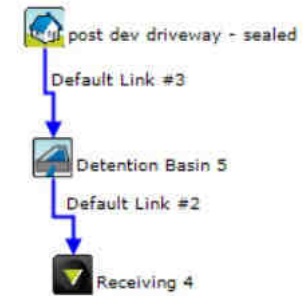


Figure 5 MUSICX model of driveway with detention basin

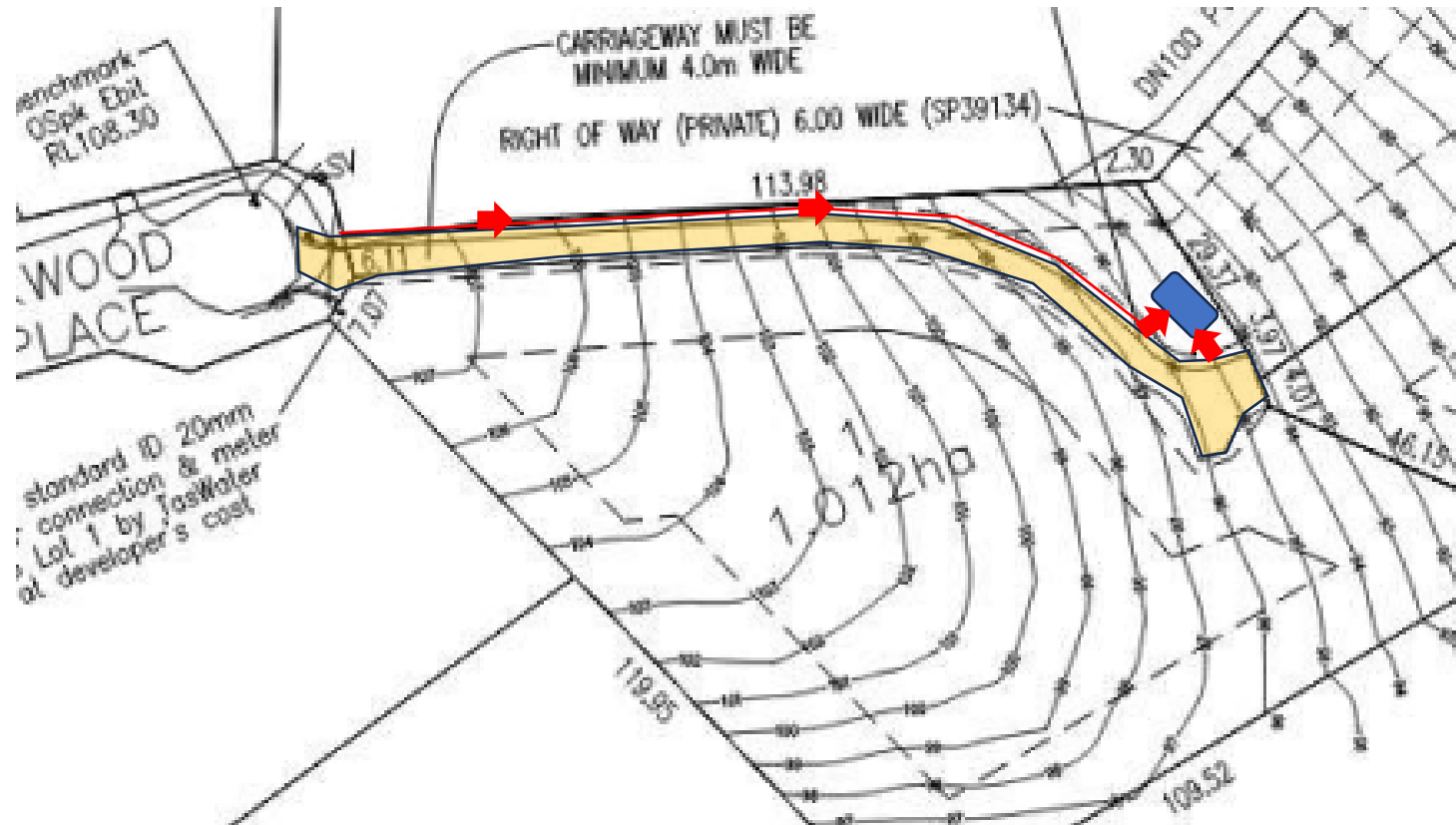
	Percent Reduction	
	Receiving 3	Receiving 4
Flow (ML/yr)	0	11.062
Total Suspended Solids (kg/yr)	0	90.089
Total Phosphorus (kg/yr)	0	69.713
Total Nitrogen (kg/yr)	0	40.784
Gross Pollutants (kg/yr)	0	100

Figure 6 Pollutant reduction outcomes. MUSICX model.

Recommendations

If the proposed driveway is sealed then;

1. A spoon drain on northern side of the driveway should be included in the driveway design ensuring flow does not flow north into the neighbours property. Dimensions approx. 600mm * 150mm.
2. A small detention basin with volume 17.6m² should be constructed in the location shown below with the drain directed into the detention basin. The basin should be topped and grassed.



Alternative Recommendation

An alternative recommendation is to use a permeable all weather driveway i.e– TRUgrid commercial pavers constructed to specification and filled with gravel should be suitable for this location. This would provide a permanently permeable driveway that will not increase flow from predevelopment flows. <https://truegridpaver.com.au/true-grid-pro-plus/>



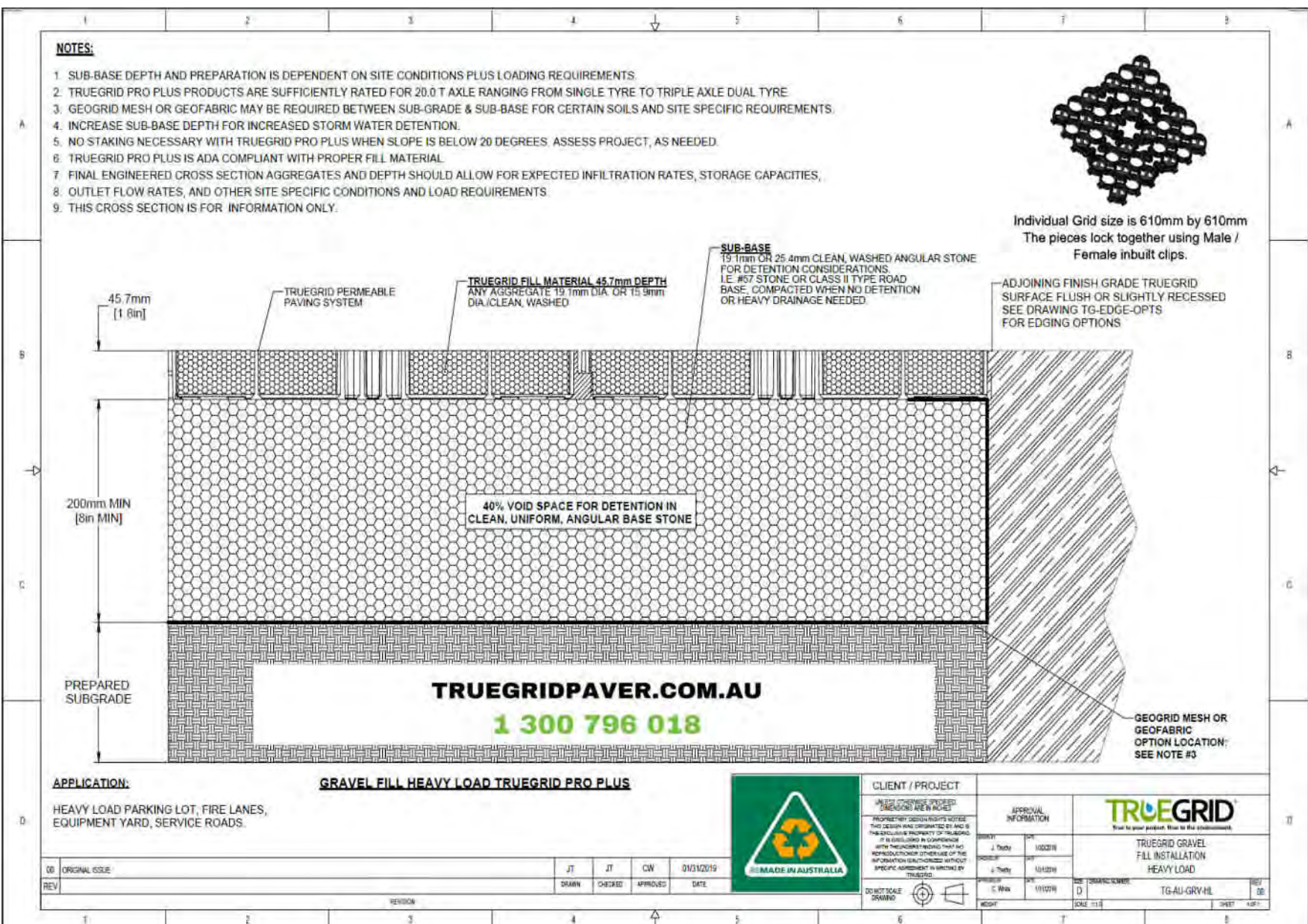
Figure 7 Image of Tru grid pavers installed in Kingston driveway.

TRUEGRID Pro Plus



Research shows that TRUEGRID® PRO PLUS™ is the engineer's go-to commercial paver for 100% pervious cover, detention and stormwater management. Proven and trusted with millions of square metres of heavy use commercial parking lots constructed. Easy-to-install, virtually maintenance-free. Compatible with all TRUEGRID® accessories including SuperSpot parking markers.





Submission to Planning Authority Notice

Council Planning Permit No.	DA230013	Council notice date	9/02/2023
TasWater details			
TasWater Reference No.	TWDA 2023/00175-STM	Date of response	25/09/2023
TasWater Contact	Elio Ross	Phone No.	0467 874 330
Response issued to			
Council name	SOUTHERN MIDLANDS COUNCIL		
Contact details	mail@southernmidlands.tas.gov.au		
Development details			
Address	17 OAKWOOD PL, MANGALORE	Property ID (PID)	7821039
Description of development	Subdivision - 3 Lots		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Peter Binny Surveys	22096	7	10/01/2023
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized water supply with metered connections to lot 1 of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. <p>FINAL PLANS, EASEMENTS & ENDORSEMENTS</p> <ol style="list-style-type: none"> 4. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for sealing is made. <i>Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.</i> 5. Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions and requirements. <i>Advice: Refer table 5.4.4 of the TasWater supplement to WSA03-2011-3.1 MRWA V2.0. for appropriate easement sizes that need to be created over existing water mains.</i> 6. Prior to the issue of a TasWater Consent to Register a Legal Document, the applicant must submit a .dwg file, prepared by a suitably qualified person to TasWater's satisfaction, showing: 			

- a. the exact location of the existing water infrastructure,
- b. the easement protecting that infrastructure.

The developer must locate the existing TasWater infrastructure and clearly show it on the .dwg file. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost.

DEVELOPMENT ASSESSMENT FEES

- 7. The applicant or landowner as the case may be, must pay a development assessment fee of \$389.86, and a Consent to Register a Legal Document fee of \$248.30 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater’s easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

NOTE: In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 - SECT 56ZB A regulated entity may charge a person for the reasonable cost of –

- (a) a meter; and
- (b) installing a meter.

Declaration

The drawings/documents and conditions stated above constitute TasWater’s Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

CERTIFICATE OF TITLE

LAND TITLES ACT 1980



TASMANIA

TORRENS TITLE

VOLUME		FOLIO
135416		1
EDITION	DATE OF ISSUE	
3	21-Oct-2022	
Page 1		of 1

I certify that the person described in Schedule 1 is the registered proprietor of an estate in fee simple (or such other estate or interest as is set forth in that Schedule) in the land within described subject to such exceptions, encumbrances, interests and entries specified in Schedule 2 and to any additional entries in the Folio of the Register.

Recorder of Titles



DESCRIPTION OF LAND

Parish of STRANGFORD, Land District of MONMOUTH
Lot 1 on Plan 135416
Derivation : Part of 519 acres Gtd to William Kimberley and
Thomas Yardley Lowes
Prior CT 100021/15

SCHEDULE 1

M991639 TRANSFER to W W TAS PTY LTD Registered 21-Oct-2022
at 12.01 PM

SCHEDULE 2

Reservations and conditions in the Crown Grant if any
SP100021 EASEMENTS in Schedule of Easements
SP41845, SP100021 COVENANTS in Schedule of Easements
SP100021 FENCING COVENANT in Schedule of Easements
SP41845, SP100021 COUNCIL NOTIFICATION under Section 468(12) of
the Local Government Act 1962

Submission to Planning Authority Notice

Council Planning Permit No.	DA230013	Council notice date	9/02/2023	
TasWater details				
TasWater Reference No.	TWDA 2023/00175-STM	Date of response	25/09/2023	
TasWater Contact	Elio Ross	Phone No.	0467 874 330	
Response issued to				
Council name	SOUTHERN MIDLANDS COUNCIL			
Contact details	mail@southernmidlands.tas.gov.au			
Development details				
Address	17 OAKWOOD PL, MANGALORE	Property ID (PID)	7821039	
Description of development	Subdivision - 3 Lots			
Schedule of drawings/documents				
	Prepared by	Drawing/document No.	Revision No.	Date of Issue
	Peter Binny Surveys	22096	7	10/01/2023
Conditions				
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56P(1) TasWater imposes the following conditions on the permit for this application:</p> <p>CONNECTIONS, METERING & BACKFLOW</p> <ol style="list-style-type: none"> 1. A suitably sized water supply with metered connections to lot 1 of the development must be designed and constructed to TasWater's satisfaction and be in accordance with any other conditions in this permit. 2. Any removal/supply and installation of water meters and/or the removal of redundant and/or installation of new and modified property service connections must be carried out by TasWater at the developer's cost. 3. Prior to commencing construction of the subdivision/use of the development, any water connection utilised for construction/the development must have a backflow prevention device and water meter installed, to the satisfaction of TasWater. <p>FINAL PLANS, EASEMENTS & ENDORSEMENTS</p> <ol style="list-style-type: none"> 4. Prior to the Sealing of the Final Plan of Survey, a Consent to Register a Legal Document must be obtained from TasWater as evidence of compliance with these conditions when application for sealing is made. <i>Advice: Council will refer the Final Plan of Survey to TasWater requesting Consent to Register a Legal Document be issued directly to them on behalf of the applicant.</i> 5. Pipeline easements, to TasWater's satisfaction, must be created over any existing or proposed TasWater infrastructure and be in accordance with TasWater's standard pipeline easement conditions and requirements. <i>Advice: Refer table 5.4.4 of the TasWater supplement to WSA03-2011-3.1 MRWA V2.0. for appropriate easement sizes that need to be created over existing water mains.</i> 6. Prior to the issue of a TasWater Consent to Register a Legal Document, the applicant must submit a .dwg file, prepared by a suitably qualified person to TasWater's satisfaction, showing: 				

- a. the exact location of the existing water infrastructure,
- b. the easement protecting that infrastructure.

The developer must locate the existing TasWater infrastructure and clearly show it on the .dwg file. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost.

DEVELOPMENT ASSESSMENT FEES

- 7. The applicant or landowner as the case may be, must pay a development assessment fee of \$389.86, and a Consent to Register a Legal Document fee of \$248.30 to TasWater, as approved by the Economic Regulator and the fees will be indexed, until the date paid to TasWater.

The payment is required within 30 days of the issue of an invoice by TasWater.

Advice

General

For information on TasWater development standards, please visit <https://www.taswater.com.au/building-and-development/technical-standards>

For application forms please visit <https://www.taswater.com.au/building-and-development/development-application-form>

Service Locations

Please note that the developer is responsible for arranging to locate the existing TasWater infrastructure and clearly showing it on the drawings. Existing TasWater infrastructure may be located by a surveyor and/or a private contractor engaged at the developers cost to locate the infrastructure.

- (a) A permit is required to work within TasWater’s easements or in the vicinity of its infrastructure. Further information can be obtained from TasWater.
- (b) TasWater has listed a number of service providers who can provide asset detection and location services should you require it. Visit <https://www.taswater.com.au/building-and-development/service-locations> for a list of companies.
- (c) Sewer drainage plans or Inspection Openings (IO) for residential properties are available from your local council.

NOTE: In accordance with the WATER AND SEWERAGE INDUSTRY ACT 2008 - SECT 56ZB A regulated entity may charge a person for the reasonable cost of –

- (a) a meter; and
- (b) installing a meter.

Declaration

The drawings/documents and conditions stated above constitute TasWater’s Submission to Planning Authority Notice.

TasWater Contact Details

Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au

General Manager

188. / 039
6/10/2023

Ref DA230013 .17 Oakwood Place Mangalore
Proposed Subdivision.

The land described was part of a 50 acre covenant prohibiting subdivision, that was subdivided and covenants added to the blocks with Midland Hwy frontage to reflect the heritage importance of the area, such as the "Heritage Mile" and the rural heritage aspect as seen from the Highway. **The proposed subdivision does not comply with the covenants placed on the land.**

In respect of the land then known as Block 15, two of the covenants stand out
Not to erect on such lot more than one ~~house~~ private dwelling house with the usual and necessary outbuildings of a permanent nature.

That no building will be permitted between the Midland Hwy and the points marked EF (Block 15).
(That is in effect the TasWater easement.)

Should Council overturn these covenants it will set a precedence for others to follow suit.

The Brighton Council was the Council for the area at the time and had high appreciation for heritage values

I also believe the drainage proposed is inadequate for another subdivision. Adding extra concentrated water from buildings and a road overflow cannot be accepted as being absorbed into the ground when the land is known to flood under heavy rain and history of overflowing catchment drains shows that **adding more volume will only increase the risk to nearby properties.**

I include a copy of past subdivision plans, easements and covenants from the original 50 acre breakup.
Thank you for your consideration.

Bernadette Conde

From: Armstrong, Claire <Claire.Armstrong@stategrowth.tas.gov.au>
Sent: Wednesday, 30 August 2023 9:33 AM
To: Grant Finn
Subject: RE: DA230040RZ - Referral of planning scheme amendment - 1844 Midland Highway Bagdad

Thanks Grant. We don't have any further comment to make on the draft amendment.

Claire

From: Grant Finn <gfinn@southernmidlands.tas.gov.au>
Sent: Wednesday, 30 August 2023 8:38 AM
To: Armstrong, Claire <Claire.Armstrong@stategrowth.tas.gov.au>
Subject: DA230040RZ - Referral of planning scheme amendment - 1844 Midland Highway Bagdad

You don't often get email from gfinn@southernmidlands.tas.gov.au. [Learn why this is important](#)

Claire, good morning.

My apologies as I have just realised that my attached correspondence did not include the end date for receipt of representations which is the **11th September 2023**.

Any queries please do not hesitate to contact me.

Kind regards

Grant Finn | Manager | Development & Environmental Services



85 Main Street, Kempton, TAS, 7120
(All correspondence to P O Box 21, Oatlands, TAS, 7120)
P: 03 6254 5050 F: 03 6254 5014 **M:** 0455 584 624
E: gfinn@southernmidlands.tas.gov.au
W: www.southernmidlands.tas.gov.au

Web: www.southernmidlands.tas.gov.au

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Department of State Growth

4 Salamanca Place, Hobart TAS 7000
GPO Box 536, Hobart TAS 7001 Australia
Ph 1800 030 688 Fax (03) 6233 5800
Email info@stategrowth.tas.gov.au Web www.stategrowth.tas.gov.au



General Manager
Southern Midlands Council
By email: mail@southernmidlands.tas.gov.au

Draft amendment DA230040 Rezoning to Village Zone – 1844 Midland Highway, Bagdad

Thank you for the opportunity to comment on the draft amendment to rezone 1844 Midland Highway, Bagdad from the Future Urban Zone to the Village Zone.

The Department of State Growth has no comments on the rezoning proposal. However, the following comments should be noted by the applicant and the planning authority when considering a future subdivision application.

Pedestrian access

The closest inward bus stop along the Midland Highway is *Disability Discrimination Act 1992 (DDA)* compliant and has good footpath connections to the north.

Future subdivision design for 1844 Midland Highway and adjoining lots should ensure that pedestrians can directly access the Midland Highway to provide a more direct route to the bus stop. Construction of a shared pathway along the highway from the future subdivision to the existing bus stop should also be included in any design.

Without direct access points, walking distance to the bus stops (based on information in the supplied Traffic Impact Assessment) would be as far as 800 metres via East Bagdad Road.

Please do not hesitate to contact Claire Armstrong, Senior Strategic Planner on (03) 6166 3397 or email planningpolicy@stategrowth.tas.gov.au who can coordinate engagement with relevant State Growth officers.

Yours sincerely

A handwritten signature in blue ink, appearing to read "James Verrier".

James Verrier
Director, Transport Systems and Planning Policy

28 June 2023

Bernadette Conde

From: Patrick Azzi <patrickazzi@gmail.com>
Sent: Wednesday, 30 August 2023 11:29 AM
To: Grant Finn
Cc: Muzz Boustani
Subject: Re: 1844 Midland Highway - JMG Planners application for rezoning

Hi Grant,

Thank you for your email.

I can't seem to find the draft proposal on the website. Could you please send me a link or lead me in the right direction?

Also does the proposed rezoning also include our property (1842 Midland Hwy) as previously suggested or is it a spot re-zone?

kind regards,
Patrick Azzi

On Wed, Aug 30, 2023 at 8:43 AM Muzz Boustani <muzzlimo@gmail.com> wrote:

----- Forwarded message -----

From: **Grant Finn** <gfinn@southernmidlands.tas.gov.au>
Date: Wed, 30 Aug 2023 at 08:33
Subject: RE: 1844 Midland Highway - JMG Planners application for rezoning
To: Muzz Boustani <muzzlimo@gmail.com>

Muzz good morning.

Further to your previous correspondence (below) I am aware that you have knowledge of the proposed rezoning of land in respect of the adjoining site being 1844 Midlands Highway, Bagdad.

As an adjoining landowner I hereby notify you, per Section 40FA of the *Land Use Planning and Approvals Act 1993* (the Act) that the Southern Midlands Council has initiated an amendment to the Local Provisions Schedule of the *Tasmanian Planning Scheme – Southern Midlands (the Scheme)*.

The draft amendment is to rezone land at 1844 Midlands Highway, Bagdad PID 2620027 & Certificate of Title reference 184820/1 and 184820/2 from the 'Future Urban Zone' to the 'Village Zone' under the Local Provisions Schedule of the Scheme.

The decision to prepare and certify the draft amendment was made at a meeting of the Planning Authority held on the 26th July 2023 pursuant to Section 38 and Section 40F of the Act.

The exhibition of the amendment commenced on **Monday the 14th August 2023** for a 28 day period.

A copy of the certified draft amendment may be viewed on Council's website at <http://www.southernmidlands.tas.gov.au> and at the Southern Midlands Council Offices at 85 Main Street, Kempton and 71 High Street, Oatlands, between the ordinary office hours of 8:30am to 5:00pm Monday to Friday. Any person may make written representations concerning the draft amendment by 5:00PM on **11th September 2023**.

Representations are to be addressed to the General Manager, PO BOX 21 Oatlands, TAS 7120 or by email to planningenquiries@southernmidlands.tas.gov.au Please include your contact details including a daytime telephone number to allow Council Officers to discuss any matters raised if necessary.

Any queries please do not hesitate to contact me.

Kind regards

Grant Finn | Manager | Development & Environmental Services



85 Main Street, Kempton, TAS, 7120
(All correspondence to P O Box 21, Oatlands, TAS, 7120)

P: 03 6254 5050 **F:** 03 6254 5014 **M:** 0455 584 624

E: gfinn@southernmidlands.tas.gov.au

W: www.southernmidlands.tas.gov.au

From: Muzz Boustani <muzzlimo@gmail.com>
Sent: Friday, 21 April 2023 4:39 PM
To: Grant Finn <gfinn@southernmidlands.tas.gov.au>
Subject: Re: 1842 Midland Highway

Dear Grant,

I hope this email finds you well. Thank you for your email regarding the proposed rezoning of the adjoining land to the south of our property.

We would like to confirm our support for the proposal. We understand that JMG Planners have been liaising with both landowners to the south and we are pleased to hear that they will be using the same consultant. Our intention will also be to use the same consultant, in hope that it will make the process easier and more streamlined for all parties involved.

We support the objectives of council, please feel free to include our property to deliver a more strategic outcome for all.

Please let us know if there is any further information or support we can provide. We look forward to working together on this.

Best regards,

Maroun Boustani

Malleny Pty Ltd

On Fri, 21 Apr 2023 at 11:21, Grant Finn <gfinn@southernmidlands.tas.gov.au> wrote:

Murray, good morning.

Further to our discussion in relation to the abovementioned land I can confirm its zoning as Future Urban under the TAS Planning Scheme.

As discussed Council is in receipt of a request from JMG Planners to rezone the adjoining land to the north (1844 Midland Highway) and whilst this is yet to be determined under s38(2), if Council are of the mind to agree to such a request it would make strategic sense to include the adjoining parcel, that is land owned by yourself.

The applicant has also been liaising with the landowner to the north (East Bagdad Rd) for the same purpose and thankfully are using the same consultant. In doing so this furthers the objectives of the Act and provides for a more strategic outcome as opposed to a 'spot' rezoning.

To this effect it would be useful if you could possibly provide council with a letter confirming your support (or otherwise) for such a proposal.

The advantage of including and aggregating a larger area is that it will hopefully facilitate both the consideration and extension of utilities and provision of access to the Midlands Highway.

All the best.

Grant Finn | Manager | Development & Environmental Services



85 Main Street, Kempton, TAS, 7120
(All correspondence to P O Box 21, Oatlands, TAS, 7120)

P: 03 6254 5050 **F:** 03 6254 5014 **M:** 045 55 846 24

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W: www.southernmidlands.tas.gov.au



Web: www.southernmidlands.tas.gov.au

Like us on Facebook: <https://www.facebook.com/southernmidlands>

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Web: www.southernmidlands.tas.gov.au

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Submission to Planning Authority Notice

Council Planning Permit No.	DA230040RZ	Council notice date	15/08/2023
TasWater details			
TasWater Reference No.	TWDA 2023/00725-STM	Date of response	08/09/2023
TasWater Contact	Al Cole	Phone No.	0439605108
Response issued to			
Council name	SOUTHERN MIDLANDS COUNCIL		
Contact details	mail@southernmidlands.tas.gov.au		
Development details			
Address	1844 MIDLAND HWY, BAGDAD	Property ID (PID)	2620027
Description of development	Planning Scheme Amendment - Rezoning Land From Future Urban to Village		
Schedule of drawings/documents			
Prepared by	Drawing/document No.	Revision No.	Date of Issue
Council	Planning Report		18/07/2023
Conditions			
<p>Pursuant to the <i>Water and Sewerage Industry Act 2008 (TAS)</i> Section 56S(2) TasWater makes the following submission(s):</p> <ol style="list-style-type: none"> TasWater does not object and has no formal comments for the Tasmanian Planning Commission in relation to this matter and does not require to be notified of nor attend any subsequent hearings. 			
Advice			
<p>General</p> <p>For information on TasWater development standards, please visit https://www.taswater.com.au/building-and-development/technical-standards</p> <p>For application forms please visit https://www.taswater.com.au/building-and-development/development-application-form</p>			
Declaration			
The drawings/documents and conditions stated above constitute TasWater's Submission to Planning Authority Notice.			
TasWater Contact Details			
Phone	13 6992	Email	development@taswater.com.au
Mail	GPO Box 1393 Hobart TAS 7001	Web	www.taswater.com.au



Event Evaluation

by
Andrew Benson
Project Manager
October 2023



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*200 Years On there's still plenty of ways to get held up on the
Heritage Highway in the Southern Midlands of Tasmania*

Introduction

What better place for a Heritage & Bullock Festival could there be but Oatlands?

- ❑ *Oatlands has the largest number of intact Georgian buildings in a Village environment in Australia;*
- ❑ *It is truly a 'living & active' historic Village;*
- ❑ *Many historic films have been shot in Oatlands, and the most recent being 'The Nightingale' circa 1834 which has just won international acclaim at the Venice Film Festival;*
- ❑ *The absence of the visual clutter of the overhead power poles in the High Street reinforces the historic streetscape;*
- ❑ *The Southern Midlands Council have a major commitment to 'heritage' by*
 - *Being the custodians of many of the significant heritage buildings and significant heritage spaces in Oatlands*
 - *Constantly investing in the restoration of buildings in their care, with the assistance of State as well as Australian Government grants*
 - *Employing a Heritage team;*
 - *Having 'heritage' as a high priority in the SMC Strategic Plan 2022 – 2032*
- ❑ *Oatlands is the home of Brian Fish and his nationally renowned Bullock Team, a fair dinkum heritage icon;*
- ❑ *The Community of Oatlands is very proud of its heritage, eg the Oatlands District Historic Society are a active not-for-profit group that has a great museum with constantly changing displays from a bygone era, Cantwell's Store is unique because as you walk in the doors you virtually walk back in time and find yourself enveloped in yester year; and finally*
- ❑ *Oatlands is a significant Village and a former coaching stop on the Heritage Highway between Hobart & Launceston.*

These are just a few reasons why it is highly appropriate that Oatlands is recognised as the perfect location in Tasmania and indeed, Australia, to host a Heritage & Bullock Festival.

Background – Chronology of Past Events in Oatlands

Festivals and events have been delivered in Oatlands over many years with varying degrees of success.

- A Rodeo was held in the Callington Park area for some during the 1990s, however it is understood that the numbers were low;*
- In 2001 an annual Oatlands Open Day (later referred to as the Oatlands Spring Festival) operated for approximately ten years until its demise in 2012. The festival occupied one day in the month of October. The comment was made that ‘the Committee just got worn out’ and therefore the festival lost its focus and the continuing Committee wobbled until the decision was made not to proceed with any further Oatlands Spring Festivals;*
- There have been a number of Bullock Festivals that have been held in Oatlands, 2006, 2009 and these were held, very successfully on the land on the western side of the Midland Highway but in close proximity to the Village of Oatlands, these events paced heritage agricultural practices against modern agricultural practices – horsepower against bullock power; and*
- In 2016 the SMC Arts Advisory Committee resolved to have a one day event in August, and the local Bullock Committee had resolved to run a two day event over that same weekend. It was late in the planning however the two groups worked together to provide a memorable experience. The Arts Advisory Committee showcased arts and crafts, including blacksmiths, quilting, weaving, painting and the like.*
- In 2018 the first Heritage & Bullock Festival was established, with a whole of Village focus – it was an amazing two day event.*



Background - Recognition of the Inaugural 2018 Heritage & Bullock Festival

What Was Achieved – Finances, Volunteers & Visitors

Through a careful analysis it is estimated that in the order of 5,200 people attended the Festival over the two days in 2018

There were an estimated 653 volunteer hours provided in the planning, activities and windup of the Festival

Based on an estimated spend in accordance with the aforementioned Report 'Reinventing Rural Places' \$50/person is quite a conservative estimate, therefore multiply the \$50 x the number of attendees 5,200 = \$260,000.00 that stays in the Community as an economic benefit from the Festival.

Examples of benefits to the individual Community organisations (generated by direct visitor expenditure):

The Wooden Spoon Café in High Street Oatlands – Normal takings on a Saturday (not open on Sundays) \$100 for the day, takings for the two days of the Festival \$3,000

The Brighton & Southern Midlands Pony Club - The Club ran a BBQ at the drover's Hut in Callington Park on the Saturday. They generated \$1,200 through the BBQ for the Club

The Oatlands Bargain Centre (Preloved Clothing) - They would take in the order of \$180 /weekend normally. Over the Festival weekend they took in the order of \$700

The Bullock Committee Donated \$7,000 to the Midlands Multi-Purpose Health Centre, Oatlands

Brian Fish, Chairman of the Heritage & Bullock Festival said "There were so many high points in the event that they are too numerous to mention, suffice to say that everyone put in a major effort and should rightly be very proud of Oatlands and the Heritage & Bullock Festival"



Background - Recognition of the Inaugural 2018 Heritage & Bullock Festival



Background - Recognition of the Inaugural 2018 Heritage & Bullock Festival



Stardom (brand excellence):

This category is really about showcasing experiences that make southern Tasmania a very special place to visit. The pillars that underpin the Tasmanian brand are:

- ★ arts and culture
- ★ waterways
- ★ history and heritage
- ★ food and beverage, and
- ★ nature and wildlife experiences.

This category provides the opportunity for businesses to demonstrate how they contribute to the southern Tasmanian brand by showcasing these tourism assets in the best possible light. Nominees will need to show how they create lasting memories by delivering unique experiences with the highest standards of service excellence.

Finalist:
Southern Midlands Council Heritage & Bullock Festival 2018

MERCURY



Why We Did This – raison detre

Hear ye ! Hear ye ! Hear ye !

In the days long before mass communication, Town Criers with hand bells were the best way to get the latest news and announcements to the general public in Georgian England as well as the Colonies.

We used the same method in sharing information over the duration of the Festival.

We wanted to...

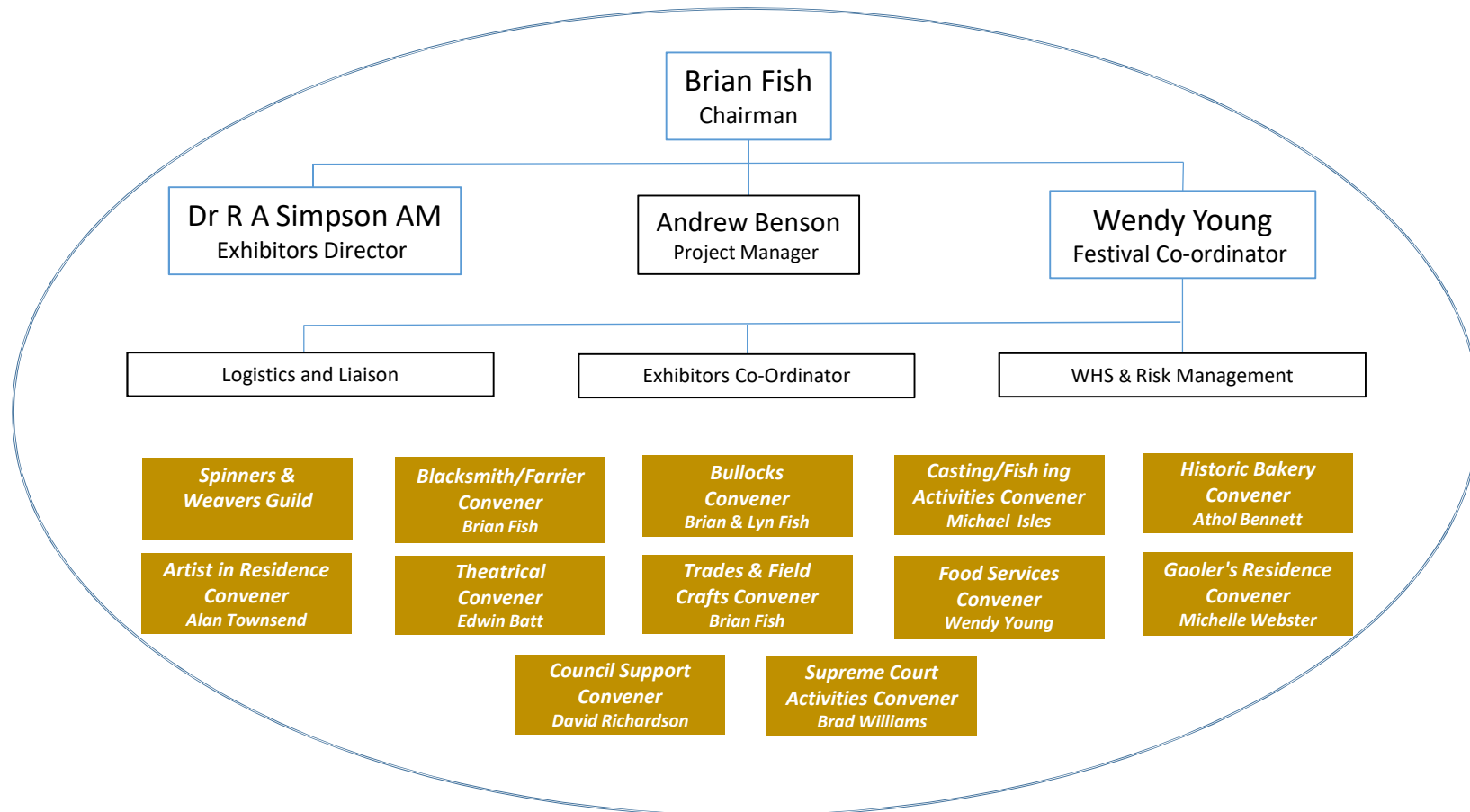
- *Use a significant event to bring the Community together and focus on the many endearing aspects of Oatlands and to demonstrate what can happen when everyone is engaged & benefiting in 'a whole of Village event'. Creating a Win – Win experience for the whole Community;*
- *Respond to a large number of people in Oatlands who were keen to have 'an event';*
- *Build on the success of the 2018 Heritage & Bullock Festival*
- *Raise the profile and tourist experience (intra-state as well as inter-state) of Oatlands & the Southern Midlands;*
- *Open Oatlands' heritage buildings to the general public; and*
- *Showcase Oatlands as a 'living historic Village'.*

We wanted to achieve

- **Awareness** – we wanted people to know more about the tourism & visitor experience in our region
- **Dispersal** – we wanted people to explore more parts of our region
- **Yield** – we wanted each visitor to spend more during their visit



How we did it – Created an amazing team to drive the event



Many High Street Traders arranged for special events and activities at their respective premises in support of the Festival.

How Did We Do It – the basics were reviewed

We

- *Listened to the Community*
- *Continued the well structured Festival Committee, with a few additional members*
 - *Exceptional Community Leadership as the Committee drivers by well respected individuals in the Community, Chairman - Brian Fish and Exhibits Director - Dr R A Simpson AM.*
 - *Underpinned those Community Leaders with solid and enthusiastic cluster of people from the Southern Midlands Council Team;*
 - *Created a group of Conveners for each cluster of activities, eg Traditional Trades, etc*
 - *Finally the coming together of an energetic and passionate Committee who were fun to work with & outcome, focused*
- *Developed a comprehensive Event Management Plan*
- *Had media support through Keryn Nylander, Communications Consultant*
- *Understood the learnings from the 2018 – 2022 Festivals*
- *Engaged with the Community through the Community groups in Oatlands*
- *Engaged with the High Street Traders*
- *Gave away branded T shirts*
- *Were responsive to identified needs flagged through the Community engagement processes*
- *Honoured the underpinning principles encircling the logo, Integrity, Traditional, Authenticity, Skills, Craftsmanship, & Heritage*



How Did We Do It – with the Media

We maximised the use of a range of media spectrums as well as our own signage positioned in strategic locations on highways leading to and from Hobart

MERCURY

The **EXAMINER**

TASMANIAN **country**

Southern
Midlands
Regional
NEWS



7 TV



9 HD

Wendy Young managed the Heritage & Bullock Facebook page Between 13th July – 21 August Posts reach – 114,694 people Post engagements – 13,822



Brian Fish had interviews with ABC Radio. and with Dave Noonan on Triple M radio

How Did We Do It – with the Media

A wide range of websites carried our information through the our entry on the Australian Tourism Data Warehouse.



The Heritage Highway Tourism Region Website and Facebook provided tremendous support for the event with trickle feed snippets regularly during the lead-up to the Festival



Southern Midlands Council Web Site and Facebook



How Did We Do It – with the Media



Community spirit brings town to life

Tia Ewen

The historical village of Oatlands was once a sleepy town, but has now transformed into a buzzing attraction.

The popular Midlands town, which lays claim to more than 150 sandstone buildings, mostly built in the early 1800s, and a population of 728, is one of Tasmania's regional success stories. And the secret to that success is the residents, says Southern Midlands Council deputy general manager Andrew Benson.

"The engagement we have with our community is very strong," Mr Benson said.

By connecting with the community, and with a little help from developers, Oatlands has opened an aquatic centre which nearby towns frequent, a state-of-the-art whiskey distillery next to the historic Callington Mill, and will be home to a boutique hotel.

"The Callington Mill Distillery has brought lots of visitors to Oatlands – they've got world-class product, a world-class facility," Mr Benson said.

Oatlands deputy mayor Karen Dudgeon was in disbelief when the council had to discuss the problems with traffic and parking.

"Who would have thought we would have had parking problems in Oatlands?" she said.

"The summer we've just had was the best tourist season we've ever had, and there were some weekends that you couldn't hardly get a park in the main High St.

"Our local shops were coming to us and saying cars are parking outside for too long, people can't get into the post office or the chemist or something, so we've actually had to sit down and put up 15-minute parking signs outside our chemist and post office for our elderly residents."

Since redeveloping the town's swimming pool into an enclosed aquatic centre, the community has taken advantage of the heated pools and gym.

"We're drawing schools from all over the outer area and beyond, and we've even had Swansea school, which is two hours in a bus, but because the centre is enclosed and it's not congested or if it's raining outside, the kids can still learn to swim, which we all know is so important in country areas," Ms Dudgeon said.

Mr Benson believes the town's revival can be attributed to the council engaging with the community, the creativity of the locals and Oatlands volunteers.

"We must not forget our hospital auxiliary that has been running for at least 35-plus years, and they've raised over a \$1m that has gone back to our hospital," Ms Dudgeon said.



Callington Mill Distillery at Oatlands

The Street Parade - What a start!



Everyone loves the sight & sound of a Pipe Band

The Street Parade demonstrates the cultural mix of Tasmania during the 1800s, Pipers were part of the military Regiments that were in the local garrison, the pack horses and bullock teams were part of everyday working life.



The Penny Farthing was a big hit with the gathered crowd



Brian Fish with his Bullock Committee assistants & his beloved Bullocks

The Street Parade - What a start!

Between 1886 and 1896 Chinese outnumbered their European counterparts throughout the NE region of Tasmania and in some areas by much as 10 to 1. The Chinese also constituted the largest group of non-European immigrants to early Tasmania.



Places & Spaces Used For The Event



Council Chambers
Circa 1881
Custodianship by SMC



Spinners & Weavers



Oatlands Community Hall
Circa 1876
Custodianship by SMC



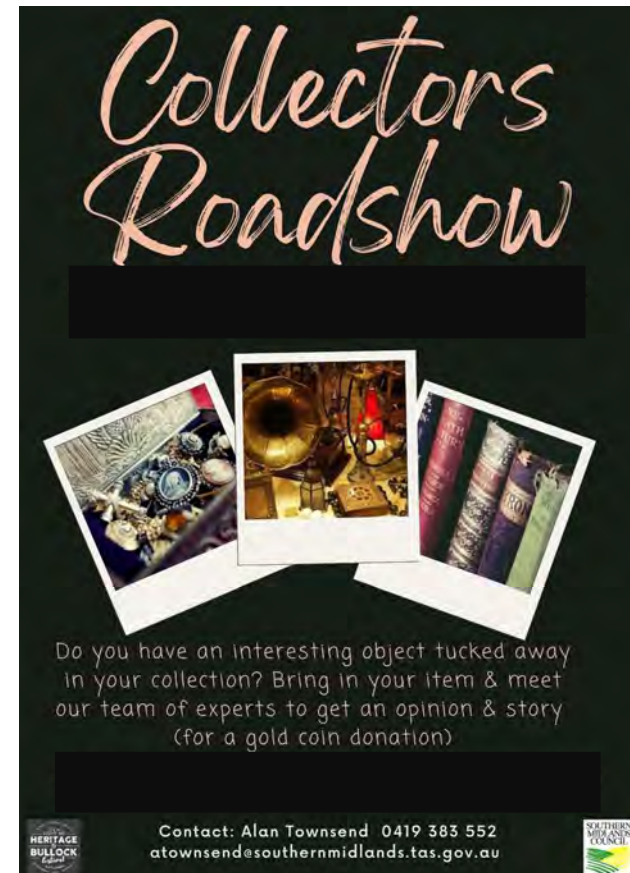
John Mathew



Places & Spaces Used For The Event



Supreme Court
Circa 1827
Custodianship by SMC



Places & Spaces Used For The Event



Callington Mill Historic Site
Circa 1837
Custodianship by Callington Mill Distillery Pty Ltd

Places & Spaces Used For The Event



Commissariat

Circa 1828

Custodianship by SMC



Athol and the Wells Family Baking at the Commissariat



Shop 79 High Street

Circa 1875

Custodianship by SMC



Artist in Residence

Places & Spaces Used For The Event



Gaoler's Residence
Circa 1837
Custodianship by SMC



Traditional wall paper making by artisan Alan Townsend inside the entry of the Gaoler's Residence

Part of the Heritage Collection on display at the Gaoler's Residence

Late Victorian Cameo earring

This earring was found in 2008 during excavations of the Green Ponds (Kempton) Watch House site. Built in 1848, the Watch House served all the functions of a modern police station.



The earring was found during excavation of what was once the female solitary cell. The cameo is carved from shell and mounted in gold, which raises the question - what was it doing on the solitary cell of an old police station?

Surviving police records show that by far the most common offence for which people were arrested in Kempton in the 1880s was "drunk and disorderly in the public streets". Perhaps some well-dressed woman spent a night in the cells, and found to her horror (once sober) that her ear rings were now just one ear ring, singular.



At the left of this picture is the old Kempton Watch House, built adjoining the Kempton Council Chambers

Places & Spaces Used For The Event – Callington Park and Surrounds



Places & Spaces Used For The Event – Callington Park



Traditional Trades



Places & Spaces Used For The Event – Callington Park



Places & Spaces Used For The Event – Callington Park



Places & Spaces Used For The Event – Water Related Heritage Activities in the Marquee



Thanks to the Inland Fisheries Service for the loan of their historic items from the Salmon Ponds History Rooms



Thanks to the Members of the Tasmanian Fly Tyers Club for their participation



Thanks to Michael Isles for his coordination of the 'fishing space exhibits'

Places & Spaces Used For The Event – Water Related Heritage Activities in the Marquee



A shipwright is a skilled craftsman who designs, builds, and repairs ships. The term "shipwright" comes from the Old English word "sceaphywe," which means "ship builder."

The work of a shipwright involves a variety of skills, including woodworking, metalworking, engineering, and design. They must have a deep understanding of the properties of different materials and how they will perform in different conditions, such as in saltwater or extreme weather.

Shipwrights are responsible for constructing the frames, hulls, decks, and other structures of ships. They used traditional techniques and tools, such as wooden mallets and chisels.



Places & Spaces Used For The Event – Water Related Heritage Activities in the Marquee



Exhibitor Barbara Frankel



What Was Achieved – Finances, Volunteers & Visitors

The costs to Council of delivering the Festival;

Expenditure \$10,123.03 ex GST (as at 17.10.23)

*Through a careful analysis it is estimated that in the order of **6,200 people attended the 2023 Festival** over the two days*

*There were an **estimated 718 volunteer hours** provided in the planning, activities and closeout of the Festival.*

To calculate the estimated benefit to the Community from this event, we have based the assumption that an estimated spend in accordance with the Report 'Reinventing Rural Places', for the 2018 Festival was \$50/person which is acknowledged as quite a conservative estimate, therefore using that base to gain a longitudinal understanding of a consistent rate we have multiplied the \$50.00 (2018) by the CPI for the following twelve months (CPI 1.6% June quarter 2018 to June 2019) equates to \$0.80 increase.

We have compounded the CPI from 2018, which provides for 2023 which equates to,

\$57.09 x the number of attendees 6,200 = \$353,970.51 that stays in the Community as an economic benefit from the Festival.

Brian Fish, Chairman of the Heritage & Bullock Festival said "There were so many high points in the event that they are too numerous to mention, suffice to say that everyone put in a major effort and should rightly be very proud of Oatlands and the Heritage & Bullock Festival 2023. Finally, thanks goes to Wendy Young the Festival Co-ordinator for her attention to detail, her pre-event marketing through Facebook and her supervision over the weekend, well done Wendy".

Acknowledgements

The following contributions are greatly appreciated;

The Festival Committee

They were a passionate and energetic group who worked together very well under the Chairmanship of Brian Fish.

The owners of private property, in Oatlands that opened their sites to the public over the Festival weekend was tremendous.

Senior Sergeant Mark Williams and his Team from Tasmania Police for their assistance and support for, and throughout the Festival.

The various Community groups that participated and supported the Festival.

The High Street Traders and indeed the whole Community embraced the spirit of the Festival, showcasing Oatlands to be a wonderful 'living' historic village.

The exhibitors were a tremendous draw card and a crucial component of the Festival

The Volunteers that participated in the Festival were amazing.

The bakery at the Commissariat which was run by Athol Bennett & David Wells and family from the RT Bakery has gone to assist into the furnishing of the soon to be built locum Doctor's residences in Church Street.

The Manager Infrastructure, David Richardson, Senior Works Coordinator, Craig Whatley along with their Team. With a special mention to Stuart Palmer and Tania Rowlands who had the Village mowed and clipped, looking a picture for visitors. Stuart also did an amazing job over the weekend with bins and amenities.

The Heritage Project Team provided tremendous support for the Festival in developing some innovative contributions for the 2023 Festival as well as showcasing the heritage buildings in Oatlands under their custodianship.

Finally, the Mayor, Councillors, General Manager and Council Officers of the Southern Midlands Council have been a main stay for the overall successful of the Festival – thank you!

APPENDIX A - What Allows Us To Formally Undertake This Event

SMC Strategic Plan 2022 – 2032 Extracts

2.2 TOURISM		GROWTH
What we are aiming to achieve:		
2.2.1 Increase the number of tourists visiting and spending money in the municipality		
Key actions to achieve our aims:		Responsible Business Unit(s)
2.2.1.1	Seek opportunities to support the development, growth and promotion of a wide range of tourism in the Southern Midlands	GM
2.2.1.2	Seek opportunities to further develop and link heritage tourism opportunities both within and outside the region, including convict sites, the Oatlands Military Precinct and Callington Mill Precinct	HP
2.2.1.3	Support the development of tourism products	GM
2.2.1.4	Work in partnership with other State, Regional and local organisations including Destination Southern Tasmania and the Heritage Highway Tourism Region Association	GM
2.2.1.5		
2.2.1.6		
2.2.1.7	Embrace and implement the Heritage Highway Destination Action Plan	GM
3.3 CULTURAL		LANDSCAPES
What we are aiming to achieve:		
3.3.1 Ensure that the cultural diversity of the Southern Midlands is maximised		
Key actions to achieve our aims:		Responsible Business Unit(s)
3.3.1.1	Identify, and promote the Cultural heritage of the Southern Midlands through festivals and events	C&CD
3.3.1.2		
3.3.1.3	Develop an events and festivals strategy	C&CD
3.3.1.4		

APPENDIX A - What Allows Us To Formally Undertake This Event *cont'd*

SMC Strategic Plan 2022 – 2032 Extracts *Cont'd*

5.1 CAPACITY & SUSTAINABILITY		COMMUNITY
What we are aiming to achieve:		
5.1.1	Build the capacity of the community to help itself and embrace the framework and strategies articulated through social inclusion to achieve sustainability	
5.1.2	Maintain and strengthen Communities in the Southern Midlands	
Key actions to achieve our aims:		Responsible Business Unit(s)
5.1.1.1	Support Community groups who wish to run and/or develop Community based facilities	C&CD
5.1.1.2	Support Community groups who wish to run and/or develop Community based events	C&CD
5.1.1.3		C&CD
5.1.1.4		C&CD
5.1.1.5	Provide support to Community groups in their establishment and on-going development	C&CD
5.1.1.6	Provide support to the Community in addressing major impacts that affect the ability of the Community to work cohesively together	C&CD

APPENDIX A - What Allows Us To Formally Undertake This Event *cont'd*

SMC Arts Advisory Strategy Extract

Objective 2

Southern Midlands Council Arts Strategy

STRATEGIC		OPERATIONAL	
OBJECTIVE	What we are aiming to achieve	Key actions to achieve our aims	Timeline <i>Immediate Medium Term Long Term</i>
<i>Identify and build the capacity of the arts</i>	2.1 Foster an environment that supports existing and new artists as well as existing and new arts organisations	2.1.1 In partnership with the Community, support and facilitate Community festivals and events 2.1.2 Encourage the development of networks amongst artists and organisations in the arts, cultural and heritage fields to share information and resources and to undertake joint planning and joint projects 2.1.3 Council to provide advice & support in the establishing of new groups / enterprises	

Objective 4

Southern Midlands Council Arts Strategy

STRATEGIC		OPERATIONAL	
OBJECTIVE	What we are aiming to achieve	Key actions to achieve our aims	Timeline <i>Immediate Medium Term Long Term</i>
<i>Recognise, celebrate and promote the uniqueness of our region through the arts</i>	4.1 Increase community awareness and understanding of the history, culture and built heritage of the Southern Midlands	4.1.1 Identify anniversaries and opportunities for celebrations 4.1.2 Support and encourage the production and publication of works that showcase the region	
	4.2 Encourage, support and celebrate our diverse Communities' participation in the arts	4.2.1 Support and promote creative endeavour through Council's internal and external marketing mechanisms 4.2.2 Explore the delivery of an annual Southern Midlands Art Prize (eg the Bisdee Prize)	

APPENDIX A - What Allows Us To Formally Undertake This Event *cont'd*

Heritage Highway Destination Action Plan - Extract



PRIORITY 3 Product and services development

Actions	Responsibilities	Priorities
1. Support opportunities for continuous development of existing heritage sites to provide active and immersive differentiated and unique experiences, events and activities.	DAP Leadership Group, working with National Trust and LTA	On-going
2. Support opportunities in the central district that create significant signature experiences to attract visitors	DAP Leadership Group	On-going
3. Support new and existing events that add value to the visitor experience and attract visitors, particularly during quieter periods, such as: <ul style="list-style-type: none"> ▪ Vintage car rallies ▪ Visual Arts ▪ Agriculture/rural life ▪ Heritage crafts and artisans ▪ Steam train experience 	DAP Leadership Group	On-going

Table 1: Visitor activity by township

Town	Passed through	Stopped & looked around	Stayed overnight/ average no. of nights	Total visitors
Campbell Town	62,525	66,253	4,760/ 1.7	133,538
Ross	30,060	66,597	10,266/ 1.7	106,923
Oatlands	37,167	37,746	10,335/ 1.6	85,249
Longford	24,075	25,717	14,417/ 2.8	64,209
Evandale	29,704	40,436	8,928/ 3.5	79,068

Source: Tasmanian Visitor Survey year ending September 2016, International Visitor Survey year ending September 2016, National Visitor Survey year ending September 2016.

APPENDIX B – Program Flyer



APPENDIX B – Program Flyer

Venue	Activity	Food options – Festival	Oatlands Businesses
A. Oatlands & District Historical Society	Museum Displays showcasing the history of the region and traditional trades and crafts.	J. Callington Park Oatlands Golf Club - Roast meat rolls Drover's Hut - BBQ Brighton & SM Pony Club - Saturday Oatlands Rural Youth - Sunday Oatlands Dist. High School – Cake stall - Sat Coffee & Food vans	Tidbit & Morsel 110 High Street The Weaver's Cottages Studio 104 High Street Vivienne Crawford "Weaving Colour & Texture" Exhibition Chair making display
B. Cantwell's Store	Historic shop/museum window display		
C. Commissariat Site and AIRSpace	Historic woodfired oven - Bread/sales Artist in Residence – Heather Dunn - Fibre & textile artist The Oatlands Community Hub – Homemade soup		
D. Council Chambers,	Spinners, Weavers & Traditional Fibre Craft Display Calligraphy, Jam, Cakes & Pickles	C. Commissariat 79 High Street - Wood Fired Bread, Homemade Soup	The Jardin Room & Provincial Interiors 87 High Street Elm Cottage Store 82 High Street Still Wild Studio & Gallery 84 High Street Oatlands Antiques 78 High Street Bargain Centre 68 High Street "Quilt Display" An Artistic Affair 67 High Street Middle Tasmania Business & Information Centre/Midlands Taxation 65 High Street Kents Treasures 56 High Street Cellarbrations 59 High Street The Lucky Ewe 50 High Street Bagdad Pottery 45 High Street
E. Gay Street Hall	Leatherworkers John Mathew – Carriage display Handmade Cards by Frances	Food Options – Oatlands Businesses	
F. Oatlands Recreation Ground	Start of Bullock Parade – 10:30 daily	The Pancake & Crepe Shop 85 High Street	
G. Police Paddock	Wooden Boat Centre Angling display/Fly casting & tying Australis Knots Theatre Performance – "Interview with the Past" – 11:00 daily	Vintage on High 81 High Street	
H. Supreme Court House	History & Heritage Guest Speaker Series - 12.30, 1.15 pm, 2:00 & 2.45 daily. Collectors Roadshow – 11:00 – 1:00 daily.	The Imbibers 74 High Street	
I. Gaoler's Residence	"Drunk and Disorderly: Public Houses & Public Scandals of the Southern Midlands" – Archaeology & Heritage Exhibition and museum displays	The Kentish Tasmania 60 High Street	
J. Callington Park	Working bullock display Lion dancers – 11:15 daily Bullocky's camp War animals display & stall Heritage truck display John Rowlands shearing demo – 12:00-12:30 daily Farrier 12.00 – 2.00 daily Blacksmith Carriage Rides by Almost Heaven Clydesdales Wood splitting – 11:30 Sunday In Line with Cindy - Line Dancing Performance – 12:45 Sunday Charring a Cask Demonstration 1.00 pm daily	Oatlands RSL/Shandy's Restaurant & Catering Albert Street - 5pm – 8pm	
K. Callington Mill Precinct & Lake Frederick Inn Studio	Fully restored Lincolnshire-style windmill. Denise Smith Photography	Brownie's Café 44 High Street Pop-up market with various stalls	
L. Barrack Street Carpark	Vintage machinery display Heritage steam engines Spirit of the Coal Valley Pilcher's Hill Pottery 97.1 fm The Voice of the Midlands – Spinning Wheel	Callington Mill Distillery Mill Lane/Esplanade Oatlands IGA Supermarket 54 High Street Contacts Andrew Benson – 0429 852 730 Wendy Young - 0458 711 028 Emergency - 000	

APPENDIX C – Program Flyer



Saturday

Dr. Christina Henri

Convict women connected to Oatlands. Textile art adding visual interpretative acknowledgment.

Dr Christina Henri focuses on the lives of female convicts and their children through her memorial *Roses from the Heart*. Through this installation of symbolic cloth bonnets, representing women sentenced to transportation to Australia between 1788-1853, Christina compels the viewer to engage with the human face of this tragic exiling of citizens whose crimes in general were motivated by desperate poverty. The pattern Dr Henri created is taken from an 1860s domestic servants bonnet. Photographic documentation at the *Kilmainham Gail* in Dublin verifies this to be the style of bonnet worn by women awaiting transportation to Australia.

Dr. Alison Alexander

Jane Hadden: mother, seductress, murderess?

Convict Jane Hadden set up a laundry at Green Ponds (Kempton) and became friendly with wealthy ex-convict Joseph Johnson, whose wife of many years was found dead. Shortly afterwards Joseph married Jane. She brought out her six children from Scotland – but not her first husband – and tried to inveigle Joseph into leaving his property to them, to the fury of his nephews. After she and Joseph separated, she lived in Cadzow Cottage, now the home of John Jones.

Dr. Louise Zarmati

The mystery of the Oatlands scrimshaw walking cane

In January 2019, Louise led a team of five teachers in the excavation of the 1827 Oatlands guard house site. The aim of the excavation was to provide teachers with an immersive professional learning experience of working on an authentic archaeological dig so they could teach their students about archaeological excavation. What was expected to be a mundane, clean-up and training dig, suddenly changed on the last day when a beautifully carved scrimshaw walking cane emerged from the dirt and rubble that covered the demolition site. This is the story of the discovery of the scrimshaw walking cane and the mystery that surrounds its placement in a small military building in Oatlands.

Prof. Hamish Maxwell-Stewart

Excavating the Tasmanian Archive

Since the 1990s over 2,000,000 Tasmanian records covering the period from European settlement to the 1960s have been transcribed, cleaned, coded and linked. These include a complete run of Tasmanian death records as well as all registered births and marriages to 1920; military records; daily weather reports; convict and other criminal justice records; property valuations; street directories; medical returns and bank accounts. Much of this information contains spatial information, enabling linkage to place. This talk will describe this archive, the thinking that lies behind its construction and the many uses that it has been put too. The talk will end by illustrating ways in which Tasmania's digital advantage could be used to drive a new future for heritage management and adaptive reuse.

APPENDIX B – Program Flyer



Sunday

Mr. John Short **William Collins – Hobart Town's first entrepreneur**

"...a Mr. Collins...in partnership with Lieutenant Lord, professedly keeps a Shop, and engross the advantages of Trade to the great injury of the Settlement" – Governor William Bligh, 10 June 1809

That shop, opened in August 1805, is the building that has been found beneath the Bank Arcade in Liverpool Street, Hobart. It was the first private shop in the settlement, making it one of the three oldest known buildings still standing in Australia.

William Collins brand, expressed as C.Wm, found on timber in the basement of the building, along with evidence including artwork and an early map confirm his presence at the site and along with it comes the story of Collins and his entrepreneurial activities.

Mr. Dane McCormack **Exiled to Exalted**

James Magee was stealing to survive in Liverpool, then imprisoned on the Euryalus Hulk, and sent halfway around the world to an unknown land in 1830. He then gets assigned to John Presnell at the Halfway House in Antill Ponds. He marries John's daughter Eleanor and lived happily ever after. This talk will help you better understand what life was like as a convict, and how important convicts were to the new colony and the Australian culture. How did living in England and their subsequent experience shape them and despite their challenges, foster the creation of one of the world's most democratic and culturally diverse nations? It is all the more remarkable given that they were being transported for opposing British cultural ideals. Convicts were exiled, but we need to exalt them for helping create this wonderful country we now live.

Dr. Richard Tuffin

Convicts in space: using historical archaeology to understand Australia's convict legacy.

The Australian convict system has left a rich legacy. This talk will show how the footprint of this system – as well as the lives caught within it – can be traced using documents, landscapes and material things left behind.

Sarah Jane Brazil

Looking after a World Heritage property – A Balancing Act

Sarah Jane will give some insights into managing the Port Arthur and Coal Mines Historic Sites and the Cascades Female Factory which are part of the Australian Convict Sites World Heritage Property. She will give an overview of the purpose in conserving, understanding and promoting them, as well as sustainably operating the sites as premier tourist attractions.



The Team look forward to seeing you and your family in Oatlands at the Heritage & Bullock Festival on 10 & 11 August 2024



HEADS OF AGREEMENT

Southern Midlands Council

ABN 68 653 459 589

(Council)

and

Crown in Right of Tasmania (represented by the Department of Health)

ABN 11 255 872 006

(the Crown)

ABETZ CURTIS

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Heads of Agreement

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Details

Date:

Parties:

Name Southern Midlands Council
ABN 68 653 459 589
Short form name **Council**
Notice details PO Box 21, Oatlands in Tasmania 7120

Name Crown in Right of Tasmania (represented by the Department of Health)
ABN 11 255 872 006
Short form name **Crown**
Notice details C/- Commercial Services, Department of Health, Level 6, 22 Elizabeth Street,
Hobart in Tasmania 7000
Attention: Deputy Secretary Infrastructure, Department of Health

Background

- A. Council is the owner of the Land.
- B. Council intends to construct the Units on the Land in accordance with the Plans.
- C. In order to complete the Units, Council is reliant upon funding commitments previously made by the Midland Multi Purpose Health Centre Community Advisory Committee, the Midlands Multipurpose Health Centre Auxiliary and the Tasmanian State Government.
- D. Upon the completion of the Units, Council has agreed to grant and the Crown has agreed to take an exclusive licence of the Units on the terms and conditions contained in the Licence annexed to this Agreement.
- E. The parties have agreed to enter into this Heads of Agreement to record the terms of their oral and other negotiations in the final form in which they have made their Agreement

Agreed terms

1. Definitions and Interpretation

1.1. Definitions

In this Agreement:

Approval means any approval, consent or certification required by law or by an Authority with respect to something to be done under this Agreement.

Authority means any:

- (a) government or local government;

- (b) governmental, semi governmental, statutory or judicial body, department, commission, authority, tribunal, agency, Minister, or entity;
- (c) government-owned corporation or enterprise;
- (d) distributor retailer or other utility service provider; or
- (e) other body or person authorised by Law to give an Approval that a person must obtain to comply with a Law.

Business Day means a day that is not a Saturday, Sunday, public holiday or bank holiday in Tasmania, Australia.

Chattels means the chattels listed in Annexure B of the Licence.

Construction Works means the work required to be undertaken pursuant to the Plans.

Date for Practical Completion means 31 August 2024, subject to clause 5.

Fixtures means the fixtures listed in Annexure B of the Licence.

Force Majeure Event means delay caused by fire, explosion, smoke, flood, earthquake, lightning, storm, tempest, civil commotion or acts of terrorism, any riot or strike affecting the construction industry on a national or state wide basis, provided the event or circumstance:

- (a) is not caused by an act or omission of the affected party; and
- (b) is beyond the reasonable control of the affected party.

Good Industry Practice means that degree of skill, care, prudence and foresight which would reasonably and ordinarily be expected of a skilled and experienced contractor, engaged in the same type (including as to scope and complexity) of project as the building contractor under the same or similar conditions.

Land means the land situate at 16 Church Street, Oatlands in Tasmania and more particularly described in Certificate of Title Volume 22710 Folio 4.

Law includes any requirement of any statute, rule, regulation, proclamation, order in council, ordinance or by law whether commonwealth, state, territorial or local.

Licence means the licence of the Premises on the terms contained in Annexure A of this Agreement.

Occupancy Permit means an occupancy permit as defined in the *Building Act 2016* (Tas) in respect of the Units.

Permitted Use means the use of the Premises by the Crown or THS, pursuant to the Licence, as a residential accommodation facility for staff, contractors and agency nurses or medical practitioners employed or contracted by the Crown, and medical practitioners employed or contracted by the local general practice medical centre.

Plans means the site plan and building plan contained in Annexure B of this Agreement.

Practical Completion means when the Units have been completed in accordance with the Plans and this Agreement, other than for minor defects or omissions that do not prevent the Units from being reasonably capable of occupation for the Permitted Use, and Council has obtained and supplied to the Crown an Occupancy Permit in respect of the Units.

Premises means the area marked 'Premises' on the Premises Plan, which is to be licenced by Council to the Crown pursuant to this Agreement and the Licence.

Premises Plan means the plan annexed to the Licence and marked 'Annexure A'.

Sunset Date means 30 September 2024.

THS means the Tasmanian Health Service continuing operation under section 15 of the *Tasmanian Health Service Act 2018* (Tas).

Units means the two stratum title units to be built by Council in accordance with the Plans.

Variation means a change to the Construction Works provided for in clause 7 of this Agreement.

1.2. Interpretation

In this Agreement, except where the context otherwise requires:

- (a) the singular includes the plural and vice versa, and a gender includes other genders;
- (b) another grammatical form of a defined word or expression has a corresponding meaning;
- (c) a reference to a clause, paragraph, schedule or annexure is to a clause or paragraph of, or schedule or annexure to, this Agreement, and a reference to this Agreement includes any schedule or annexure;
- (d) a reference to a document or instrument includes the document or instrument as novated, altered, supplemented or replaced from time to time;
- (e) a reference to A\$, \$A, dollar or \$ is to Australian currency;
- (f) a reference to time is to Tasmania, Australia time;
- (g) a reference to a Party is to a party to this Agreement, and a reference to a party to a document includes the party's agent, executors, administrators, successors and permitted assignees and substitutes;
- (h) a reference to a person includes a natural person, partnership, body corporate, association, governmental or local authority or agency or other entity;
- (i) a reference to a statute, ordinance, code or other law includes regulations and other instruments under it and consolidations, amendments, re-enactments or replacements of any of them;
- (j) a word or expression defined in the Corporations Act has the meaning given to it in the Corporations Act;
- (k) the meaning of general words is not limited by specific examples introduced by including, for example or similar expressions;
- (l) any agreement, representation, warranty or indemnity by two or more parties (including where two or more persons are included in the same defined term) binds them jointly and severally;
- (m) any agreement, representation, warranty or indemnity in favour of two or more parties (including where two or more persons are included in the same defined term) is for the benefit of them jointly and severally;
- (n) a rule of construction does not apply to the disadvantage of a Party because the Party was responsible for the preparation of the Heads of Agreement or any part of it; and
- (o) if a day on or by which an obligation must be performed or an event must occur is not a Business Day, the obligation must be performed or the event must occur on or by the next Business Day.

1.3. Headings

Headings are for ease of reference only and do not affect interpretation.

2. Construction of the Units

2.1. Construction Works

- (a) Subject to clause 4, Council will undertake the Construction Works in accordance with the Plans annexed to this Agreement.

- (b) In fulfilling its obligations under clause 2.1(a), Council agrees to:
- i. Promptly obtain all necessary Approvals from any Authority for the Construction Works in accordance with the Plans;
 - ii. Cause the Construction Works to be carried out in a good and workmanlike manner and in accordance with Good Industry Practice; and
 - iii. Make all reasonable endeavours to complete the Construction Works in accordance with the Plans by the Date for Practical Completion.

3. Licence of the Premises

3.1. Agreement to licence

Subject to the terms and conditions of this Agreement, Council agrees to grant the Licence to the Crown and the Crown agrees to accept the grant of the Licence in respect of the Units.

3.2. Commencement of the Licence

Subject to Council achieving Practical Completion, the commencement date of the Licence will be the earlier of:

- (a) Seven (7) days after the date a copy of the Occupancy Permit is provided to the Crown by Council; or
- (b) Possession of the Premises is taken by the Crown.

3.3. Completion of the Licence

- (a) At least four (4) weeks prior to Practical Completion the Council will cause the Council's solicitor to complete TWO (2) copies of the Licence by inserting the following:
 - i. the Commencement Date at Item 4 of Schedule One of the Licence, pursuant to clause 3.2 of this Agreement;
 - ii. the Fixtures; and
 - iii. the Chattels,and provide these to the Crown to review and execute both copies of the Licence.
- (b) The Crown will execute the Licence prior to the proposed commencement date of the Licence (in accordance with clause 3.2), provided that the Licence is prepared in accordance with this Agreement and the Fixtures and Chattels are accurate and complete.

3.4. Commencement Licence Fee

Council and the Crown acknowledge and agree that the commencement licence fee payable under the Licence for the first year is to be ONE DOLLAR (\$1.00) annually plus GST.

4. Conditions Precedent

The parties are bound to perform their obligations under clauses 2 and 3 if and only if the following conditions have been fulfilled or waived:

4.1. Council's obligations

- (a) Within 90 days of the Date of this Agreement, Council has obtained all Approvals from any Authority for the Constructions Works in accordance with the Plans;
- (b) Within 90 days of the Date of this Agreement, Council has obtained Finance from the following entities in the following sums:
 - (i) A minimum of \$100,000.00 from the Midland Multi Purpose Health Centre Community Advisory Committee;

- (ii) A minimum of \$100,000.00 from the Midlands Multipurpose Health Centre Auxiliary;
- (iii) A minimum of \$200,000.00 from the Tasmanian State Government; and
- (iv) A minimum of \$100,000.00, plus any additional costs arising from the Construction Works from the Council.

4.2. Effect of failure to satisfy conditions

If the conditions contained in clause 4.1 are not fulfilled by the date specified, the parties are automatically discharged from their obligations under clauses 2.1 and 3.1..

4.3. Attempt to fulfil conditions

The parties must use best endeavours to do everything they reasonably can (other than waiving a condition) to make sure that the conditions pertaining to it contained in clause 4.1 are fulfilled by the date on which it must be fulfilled.

5. DELAYS TO PRACTICAL COMPLETION

5.1. Extensions for Delays

Council shall be entitled to claim a reasonable extension to the timeframe to achieve Practical Completion by giving five (5) days written notice to the Crown, if Council is delayed in achieving Practical Completion by the Date for Practical Completion by any of the following:

- (a) delay caused by Force Majeure;
- (b) weather or the effects of weather sufficiently inclement to prevent execution of the Construction Works;
- (c) any delays to the extent caused by the Crown or any person acting on behalf of the Crown; or
- (d) any delay which is out of Council's reasonable control,

except to the extent such delay is caused or contributed to by Council's failure to take reasonable steps to minimise the extent of the delay by any of the above things.

5.2. Sunset Date

If Practical Completion has not occurred by the Sunset Date, any party to this Agreement may by notice in writing to the other parties terminate this Agreement, in which case, the parties are automatically discharged from their obligations under clauses 2 and 3 but retain any right or claim which arises under the rest of this Agreement.

6. DEFAULT

6.1. Effect of Default Event

Either the Crown or the Council may terminate this Agreement, including the Licence, pursuant to this Agreement, without notice if a Default Event occurs.

6.2. Default Event

An Event of Default occurs if:

- (a) the other party to this Agreement repudiates or commits a fundamental breach of this Agreement;
- (b) an Insolvency Event occurs with respect to either party; or
- (c) any essential term of this Agreement is or becomes wholly or partly void, voidable or unenforceable even if not claimed to be so by either party or by anyone on its behalf.

7. VARIATIONS TO UNITS

Council may make Variations to the Construction Works but only on the following basis:

7.1. Council's Variations

- (a) The Council may make minor Variations to the Construction Works in respect of the Units, but Council must notify the Crown of any Variations made.
- (b) If the Council makes substantial Variations to the Construction Works, the Crown must be notified and consent to any such variation (acting reasonably) within a reasonable timeframe considering the nature of the Variation.
- (c) For clarity, clause 7.1(a) applies to all Variations including Variations required by any Authority or required to obtain the Occupancy Permit.

7.2. Authority Variation

If an Authority requests a Variation, Council must notify the Crown within 10 Business Days of the party being notified.

8. GENERAL

8.1. Binding

The parties agree that this Agreement is binding on all parties.

8.2. Variation and waiver

No variation or waiver of, or any consent to any departure by a party from, a provision of this Agreement is of any force or effect unless it is confirmed in writing, signed by the parties and then that variation, waiver or consent is effective only to the extent for which it is made or given.

8.3. Severance of invalid provisions

If any provision of this Agreement is invalid and not enforceable on its terms, other provisions which are self-sustaining and capable of separate performance with regard to the invalid provision, are and continue to be valid and enforceable on their terms.

8.4. Further documents

Each party must do, sign, execute and deliver and procure that each of its employees does, signs, executes and delivers all agreements, documents, instruments and acts reasonably required of it or them by notice from another party effectively to carry out and give full effect to this Agreement and the rights and obligations of the parties under it, both before and after completion.

8.5. Applicable law

This Agreement must be interpreted under the law of the State of Tasmania.

8.6. Whole agreement

This Agreement, in connection with its subject matter:

- (a) constitutes the sole and entire agreement among the parties; and
- (b) supersedes all prior agreements and understandings of the parties,

and a warranty, representation, guarantee in connection with the subject matter of this Agreement or other term not contained or recorded in this Agreement is of no force or effect.

EXECUTED as an Agreement.

THE COMMON SEAL of **THE**)
SOUTHERN MIDLANDS COUNCIL)
was affixed in the presence of)

Witness signature:

Witness name:

Executed behalf of the **Crown in Right of Tasmania** by the person named below in the presence of the witness named below:

Signature:
→

Being a person who has authority to sign this Agreement

*Print name and position:

Witness' signature:
→

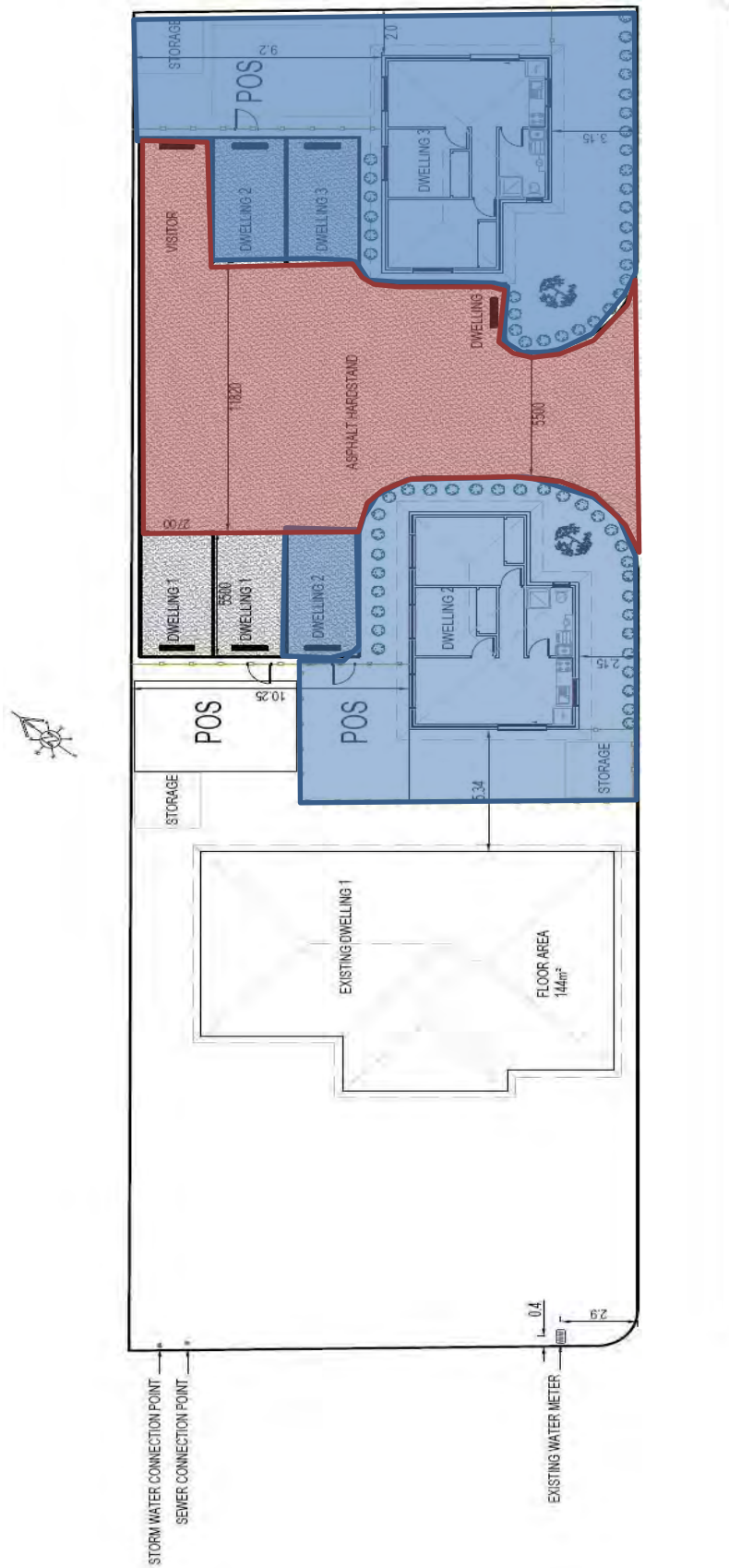
*Witness print name and position:

*Use BLOCK LETTERS

*Witness print address:

Annexure A – Licence

Annexure B – Plans





LICENCE – 16 Church Street

SOUTHERN MIDLANDS COUNCIL
(ABN 68 653 459 589)
(Licensor)

AND

CROWN IN RIGHT OF TASMANIA (represented by the
Department of Health)
(ABN 11 255 872 006)
(Licensee)

ABETZ CURTIS
ABN 27 009 576 149

83 Davey Street
Hobart Tasmania Australia 7000
GPO Box 405
Hobart Tasmania Australia 7001

Phone 03 6223 8955
Facsimile 03 6234 9640
Email info@abetzcurtis.com.au
Web www.abetzcurtis.com.au

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LICENCE

Date:

Parties:

Name: **SOUTHERN MIDLANDS COUNCIL**

Short Form Name: **Licensor**

Notice Details: PO Box 21, Oatlands TAS 7120

Contact: General Manager

Name: **CROWN IN RIGHT OF TASMANIA (REPRESENTED BY THE DEPARTMENT OF HEALTH) (ABN 11 255 872 006)**

Short Form Name: **Licensee**

Notice Details: C/- Commercial Services, Department of Health, Level 6, 22 Elizabeth Street, Hobart in Tasmania 7000

Attention: Deputy Secretary Infrastructure, Department of Health

BACKGROUND:

- A. The Licensor is the registered proprietor of the Land.
- B. The Licensor has agreed to grant and the Licensee has agreed to take an exclusive licence of the Licensed Area for the duration of the Term, together with a non-exclusive licence of the Common Area, each on the terms and conditions contained in this Licence.

IT IS AGREED AS FOLLOWS:

1. DEFINITIONS AND INTERPRETATION

1.1. Definitions

In this Licence the following expressions have the following meanings unless a contrary intention appears:

- (a) **Authority** means any governmental or other public body, local authority or other authority of any kind.
- (b) **Business Day** means a day on which banks are open for general banking business in Hobart, Tasmania other than a Saturday, Sunday or a public holiday.
- (c) **Chattels** means the chattels forming part of the Licensed Area, including but not limited to the items listed in Annexure B.
- (d) **Commencement Date** means the date specified in Item 4 of Schedule One.
- (e) **Common Area** means the area described in Item 2(B) of Schedule One.
- (f) **Fixtures** means the fixtures forming part of the Licensed Area, including but not limited to the items listed in Annexure B.
- (g) **Land** means the land situate at 16 Church Street, Oatlands in Tasmania and more particularly described in Certificate of Title Volume 22710 Folio 4.
- (h) **Licence** means this licence agreement, and includes all annexures and schedules attached hereto.

- (i) **Licence Fee** means the amount payable in respect of the Licensed Area set out in Item 5 of Schedule One and as varied under this Licence.
- (j) **Licensee** means the Licensee, its successors, legal personal representatives, and assigns and where applicable in the particular context, the employees, agents, contractors, customers, invitees or visitors of the Licensee.
- (k) **Licensed Area** means the area described in Item 2(A) of Schedule One.
- (l) **Permitted Use** means the use specified in Item 7 of Schedule One.
- (m) **Personnel** includes but is not limited to the Licensee's employees, contractors, agents and directors.
- (n) **Schedule** means the Reference Schedule attached to and forming part of this Licence.
- (o) **State** means the State of Tasmania.
- (p) **Term** means the period set out in Item 3 of Schedule One and, when and includes where the context permits, any period of holding over and any period of each extension or further licence granted under this Licence.
- (q) **Utilities** means electricity, gas, oil, power, telephone, telecommunications, internet, trade waste, excess water and removal of waste.

1.2. Interpretation

In this Licence unless a contrary intention appears:

- (a) Words importing persons shall include corporations or other corporate or Government body.
- (b) Words importing the singular or plural number include the plural and singular respectively.
- (c) The background, Schedules and annexures to this Licence are to be construed as part of this Licence.
- (d) Where more than one person accepts liability under any covenant, agreement, stipulation, proviso or obligation express or implied, each of those persons shall be liable severally as well as jointly.
- (e) References to statutes shall include any statute amending, consolidating or replacing the same.
- (f) A reference to anything includes a part of it.
- (g) A reference to writing includes a reference to printing, typing and each other method of producing words in visible form including any electronic method.
- (h) Where a word or expression is given a particular meaning, other parts of speech and grammatical forms of that word or expression have corresponding meanings.
- (i) The marginal notes and headings are included for convenience and do not affect the interpretation of this Licence.
- (j) Words of any gender shall include the other gender.

1.3. Relationship between the parties

Nothing in this Licence is to be considered or interpreted as constituting the relationship between the parties of a partnership, quasi-partnership, association or any other relationship in which a party may (except as expressly provided in this Licence) be liable for the acts or omissions of the other party. Nothing in this Licence shall be deemed or construed to authorise any party to act as an agent for any other party for any purpose (except as expressly provided

in this Licence). In their relations with each other under this Licence, the parties shall not be considered fiduciaries except as expressly provided in this Licence.

2. GRANT OF LICENCE

2.1 Licence

- (a) The Licensor grants to the Licensee and the Licensee accepts an exclusive licence of the Licensed Area for the Permitted Use for the duration of the Term.
- (b) The Licensor grants to the Licensee and the Licensee accepts a non-exclusive licence of the Common Areas for the duration of the Term.
- (c) The Licensee agrees and acknowledges that:
 - (i) the Licensed Area includes the Fixtures and the Chattels;
 - (ii) the rights granted by the Licensor in this Licence are contractual only and shall not create or confer upon the Licensee any tenancy, estate or interest in the Licensed Area;
 - (iii) the Licensor reserves the right to grant to any other person such rights of way or other easements or privileges or non-exclusive licences over or in respect of the Licensed Area, to the extent such rights, easements or privileges are not inconsistent with the Licensee's rights and obligations under this Licence; and
 - (iv) this Licence does not affect the right of the Licensor to enter upon and use the Licensed Area at any time during the Term provided reasonable notice is provided to the Licensee and any person staying in the Premises.

2.2 Suitability of Property

The Licensor warrants at the date of this Licence that the Licensed Area can be lawfully used for the Permitted Use and it will notify the Licensor of any notices or other information received by the Licensor that affects the Licensee's use of the Licensed Area. .

3. LICENSEE'S COVENANTS

The Licensee covenants with the Licensor as follows:

3.1 Licence Fee

During the Term to pay the Licence Fee on demand in the manner prescribed in Item 5 of Schedule One or as the Licensor otherwise directs in writing.

3.2 Utilities and cleaning

- (a) During the Term, to pay on time all charges, levies or fees payable for Utilities supplied to or consumed in the Licensed Area to the Utilities provider or responsible Authority.
- (b) During the Term, to pay all cleaning costs in respect of the Licensed Area.

3.3 Consents for Permitted Use

To obtain at the Licensee's expense all necessary consents, permits or other such approvals that may be required to use the Licensed Area for the Permitted Use.

3.4 Use of the Licensed Area

- (a) Not to use or permit to be used the Licensed Area or any part of it for any purpose other than for the Permitted Use unless otherwise agreed in writing by the Licensor.
- (b) Not to store or permit to be stored in the Licensed Area any inflammable or dangerous liquids, gas or solids in excess of that permitted to be held in the Licensed Area by the

insurers of the Licensed Area.

- (c) Not to do or permit to be done upon the Licensed Area anything which in the opinion of the Licensor may be or become a nuisance or annoyance to adjacent Licensed Area or the neighbourhood, or a breach of any act, regulation or council by-law.

3.5 Signs

Not to affix or exhibit or permit any signs, placards, sign-board or other advertisement in or on the Licensed Area except such as the Licensor has consented to in writing and such consent shall not be unreasonably held.

3.6 Compliance with Laws and Requirements

During the Term to comply on time with all requirements and orders of authorities and all laws, including but not limited to all relevant environmental protection laws and orders, acts and regulations in connection with the Permitted Use or the Licensee's occupation of the Licensed Area.

3.7 Assignment, Sub-Letting and Possession

- (a) Subject to clause 3.7(b), not to assign, transfer, sub-let or part with the possession of the Licensed Area or any part of the Licensed Area to any person without the written consent of the Licensor.
- (b) The Licensor acknowledges that the Licensee is permitted to sub-licence or otherwise make the Licensed Area available for residential accommodation to be used by doctors, nurses and other health professionals, in accordance with the Permitted Use, but only while such persons are working at the Tasmanian Health Service's facility the Midland Multi Purpose Centre or any private general practice clinic in Oatlands.

3.8 Insurance

- (a) To effect and maintain the following insurance policies for the duration of the Term at the Licensee's cost :
 - (i) Public Liability Insurance; and
 - (ii) Workers' compensation insurance for all Personnel and other persons engaged by the Licensee for the Permitted Use.
- (b) The Licensor acknowledges that the Licensee self-insures under the Tasmanian Government Risk Management Fund.

3.9 Alterations

- (a) Not to make or permit to be made any structural or other alterations or additions to the Licensed Area or to any fixtures or fittings without the consent of the Licensor (which will not be unreasonably denied).
- (b) Nothing in this Licence requires the Licensor to seek the consent of the Licensee to any modifications or additions to the Licensed Area, provided these do not affect the use of the Premises by the Licensee.

3.10 Maintenance

- (a) To keep that Licensed Area in a good, neat and tidy condition and must not litter or cause the Licensed Area to be damaged, made unsafe or left in a dirty or untidy state;
- (b) To take all reasonable precautions to prevent the outbreak and spread of fire upon any of the Licensed Area and any other reasonably foreseeable hazard or danger, and use all reasonable endeavours to extinguish any fire on or within the vicinity of the Licensed Area;
- (c) To promptly notify the Licensor in writing of any damage whatsoever occurring to the Licensed Area whether caused by the Licensee or not;
- (d) To promptly make good any damage caused to the Licensed Area by the Licensee or

its Personnel during the Term.

3.11 Repair and cleaning of Fixtures and Chattels

- (a) To keep the Fixtures and Chattels in good repair (excluding fair wear and tear), and to regularly clean and maintain any Fixtures and Chattels that require cleaning and maintenance.
- (b) To promptly notify the Licensor in writing of any damage whatsoever occurring to any Fixtures and Chattels, whether caused by the Licensee or not; and
- (c) To promptly make good any damage caused to any Fixtures and Chattels by the Licensee or its Personnel during the Term (excluding fair wear and tear).

3.12 Release and Indemnity

- (a) To release to the full extent permitted by law the Licensor from and against all claims and liability resulting from or relating to any loss of life, accident, injury to persons and/or loss of or damage to property occurring in, on or in the immediate vicinity of the Licensed Area as a direct result of the use of the Licensed Area by the Licensee; its Personnel or any people permitted to use the Licensed Area pursuant to clause 3.7(b) (including any loss of or damage to any personal property of the Licensee, its Personnel or any people permitted to use the Licensed Area pursuant to clause 3.7(b)), except to the extent caused or contributed to by any misuse, negligent or wrongful act or omission of the Licensor.
- (b) To compensate and meet all claims of:
 - (i) the Licensor for the loss of or damage or injury to any part or the whole of the Licensed Area;
 - (ii) any person for the loss of or damage to their personal property; and
 - (iii) any person for personal injury or death,arising out of or in connection with the use of the Licensed Area by the Licensee, its Personnel and any person permitted to use the Licensed Area pursuant to clause 3.7(b) during the Term, and to indemnify and keep indemnified the Licensor against any liability or loss arising from, and any costs charges and expenses incurred with any such claims, except to the extent caused or contributed to by any misuse, negligent or wrongful act or omission of the Licensor.

3.13 GST

In respect of any payment (whether of the Licence Fee or otherwise) which is required to be made by the Licensee by the terms of this Licence whether to the Licensor or otherwise, to also pay any tax in the nature of a consumption tax, goods and services tax, value added tax or similar tax required by law to be paid in addition to or in respect of or as a consequence of that payment PROVIDED THAT the Licensee shall not be required to pay any tax in relation to the payment of Licence Fee unless the statute or legislation imposing payment of that tax requires the Licensee to do so.

4. LICENSOR'S COVENANTS

- (a) Provided that the Licensee observes and complies with their obligations and covenants in this Licence and subject to the other provisions of this Licence, the Licensor covenants with the Licensee to allow the Licensee exclusive use of the Licensed Area for the Term of the Licence without undue disturbance by the Licensor or any sub-contractor, servant or agent of the Licensor, except as may be reasonably necessary for any legislative requirement.
- (b) The Licensor must:
 - (i) subject to clause 4(b)(ii) maintain the Licensed Area in the condition that existed on the Commencement Date of the Initial Term of this Licence, excluding fair wear and tear, broken glass or light globes or damage caused by the Licensee or its occupants;
 - (ii) promptly rectify any building defects which arise or become apparent before or after the Commencement Date of the Initial Term of this Licence; and
 - (iii) promptly undertake any repairs to the Licensed Area, and if this is not attended to within a reasonable period, the Licensee may undertake the repairs to the Licensed Area and claim the cost of the repairs from the Licensor.
- (c) The Licensee must maintain the gardens and outdoor Common Areas of the Licensed Area in a clean and neat condition.

5. TERMINATION

The Licensee and the Licensor covenant and agree as follows:

5.1 Rights of Licensor to Terminate Licence

- (a) That each of the covenants contained in clause 3 are fundamental terms of this Licence, the breach of which will give rise to a right for the Licensor to terminate this Licence and recover damages from the Licensee.
- (b) That if and whenever:
 - (i) the Licence Fee or any part of it shall be in arrears and unpaid for thirty (30) days after it has become due and payable; or
 - (ii) the Licensee fails to observe any of the covenants, conditions or agreements on the Licensee's part contained in this Licence; or
 - (iii) the Licensee uses the Licensed Area or allows the Licensed Area to be used in a manner which is contrary to law; or

then and in any such case it shall be lawful for the Licensor to immediately or any time after to terminate this Licence and to enter into and upon the Licensed Area or any part of the Licensed Area in and have possession and enjoy the Licensed Area notwithstanding but without prejudice to any action suit or remedy which it might otherwise have had for arrears of Licence Fee or preceding breach of covenant or otherwise.

5.2 Removal of Licensee's Items

- (a) That the Licensee must at or prior to the determination of this Licence take remove or carry away from the Licensed Area all fixtures, fittings, plant equipment or other articles upon the Licensed Area in the nature of trade or Licensee's fixtures brought upon the Licensed Area by the Licensee.
- (b) The Licensee shall in such removal do no damage to the Licensed Area and shall immediately make good any damage which the Licensee may occasion to the Licensed Area and shall immediately remove all rubbish and shall leave the Licensed Area in a clean state and condition.
- (c) In the event that the Licensee does not remove and carry away such fixtures, fittings, plant equipment or other articles at the determination of this Licence such items may be removed by Licensor at the Licensee's cost.

5.3 Rights of the Licensee to terminate Licence

If the Licensor fails to observe any of the covenants, conditions or agreements on the Licensor's part contained in this Licence, the Licensee may terminate this Licence and recover damages from the Licensor.

5.4 Termination for convenience

Either part may terminate this Licence for convenience and for any reason by giving the other party at least 90 days' notice in writing

6. NOTICES

6.1 Notices

Any notice, document or demand ("Notice") under this Licence may be served in accordance with this clause 6.

6.2 Written Notice

The Notice shall be in writing, signed by the party giving it or that party's solicitor.

6.3 Service of Notice

The Notice shall be served on each party at the address shown in this Licence or on the party's solicitor.

6.4 Additional or altered address

Either party may advise the other party in writing of an additional or an altered address for the service of notices which is not a post office box or poste restante.

6.5 Modes of service

A notice may be served:

- (a) by delivering it to the party or to the party's solicitor at the address shown in this licence or notified under clause 6.4 ("Party's Address") and leaving it with the party, the solicitor or some other person accepting the notice on behalf of either of them;
- (b) by sending it by pre-paid post, correctly addressed, to the Party's Address; or
- (c) by transmitting it on a Business Day by facsimile to the party's solicitor's facsimile

6.6 Time of service

A notice is considered to have been served:

- (a) at the time of delivery;
- (b) on the third Business Day after the day on which it is posted, the first Business Day being the day of posting;
- (c) on the Business Day on which the notice is received by the recipient's facsimile receiving facility.

7. DISPUTE RESOLUTION

The parties must attempt to resolve any dispute between them by direct negotiation. If the parties fail to resolve a dispute by direct negotiation, either party may refer the dispute to arbitration in accordance with the provisions of the *Commercial Arbitration Act 2011* (Tas) or such statutory amendment or substitution as is then in force in the State for the conduct of matters referred to arbitration and the decision of such arbitrator shall be binding and final on both parties and not subject to review by any Court of law.

8. MISCELLANEOUS

8.1 No Merger

None of the terms of this Licence, nor any act, matter or thing done under, or by virtue of, or in connection with this Licence, operates as a merger of any of the rights and remedies of the Licensor or the Licensee under this Licence, all of which continue in full force and effect.

8.2 Waiver

No failure by a party to exercise, nor delay in exercising, a right, power or remedy operates as a waiver. A single or partial exercise of a right, power or remedy does not preclude any other, or further, exercise of that, or any other right, power or remedy. A waiver is neither valid, nor binding, on the party granting it, unless made in writing signed by the party to be bound by the waiver.

8.3 Whole Agreement

This Licence contains all the agreements made between the parties and the Licensee hereby acknowledges that it has entered into this Licence solely on the basis of the terms, conditions, covenants and agreements contained in this Licence and that no other warranties, representations or promises whether in writing or otherwise and whether express or implied have been relied upon by it and all such warranties, representations and promises (if any) are hereby negated.

8.4 Variation

This Licence may only be varied in writing signed by all the parties.

8.5 Provisions Void, Voidable, Unenforceable or Illegal

- (a) If any provision of this Licence is void, voidable, unenforceable or illegal in its terms, but would not be void, voidable, unenforceable or illegal if it were read down and it is capable of being read down, that provision is to be read down accordingly.
- (b) If, notwithstanding action taken under clause 8.5(a), a provision is still void, voidable, unenforceable or illegal and if the provision would not be void, voidable, unenforceable or illegal:
 - (i) if a word or word were omitted, that word or those words are severed; and
 - (ii) in any other case, the whole provision is severed; andthe remainder of this Licence is of full force and effect.

- (c) Any provision of this Licence which is prohibited or unenforceable in any jurisdiction is, as to such jurisdiction, ineffective to the extent of that prohibition or unenforceability without invalidating the remaining provisions or effecting the validity or enforceability of that provision in another jurisdiction.

8.6 Application of Law

Unless application is mandatory by law, no statute, ordinance, proclamation, order, regulation or moratorium present or future shall apply to this Licence so as to abrogate, extinguish, impair, diminish, fetter, delay or otherwise prejudicially affect any rights, powers, remedies or discretions given or accruing to the Licensor.

8.7 No partnership or agency

Unless stated to the contrary in this Licence:

- (a) nothing contained or implied in this Licence will:
- (b) constitute, or be taken to constitute, a party to be the partner, agent or legal representative of another party for any purpose;
- (c) create, or be taken to create, a partnership or joint venture; or
- (d) create, or be taken to create, an agency or trust;

and a party must not represent or hold itself out to be a partner, joint venturer, agent or representative of another party.

8.8 Governing Law and Jurisdiction

This Licence is governed by the laws of the State, and the parties submit to the non-exclusive jurisdiction of the courts of the State.

SIGNING CLAUSES

EXECUTED by the parties as an Agreement.

Signed by the Licensor

THE COMMON SEAL of the **SOUTHERN**)
MIDLANDS COUNCIL was affixed pursuant)
to a resolution of said Council by the following)
duly authorised person:-)

.....
Common Seal of Southern Midlands Council

.....
Signature of authorised person

.....
Name of authorised person

.....
Position held by authorised person

Signed by the Licensee

Executed behalf of the **Crown in Right of Tasmania** by the person named below in the presence of the witness named below:

Signature: →

Being a person who has authority to sign this Agreement

*Print name and position:

Witness' signature: →

*Witness print name and position:

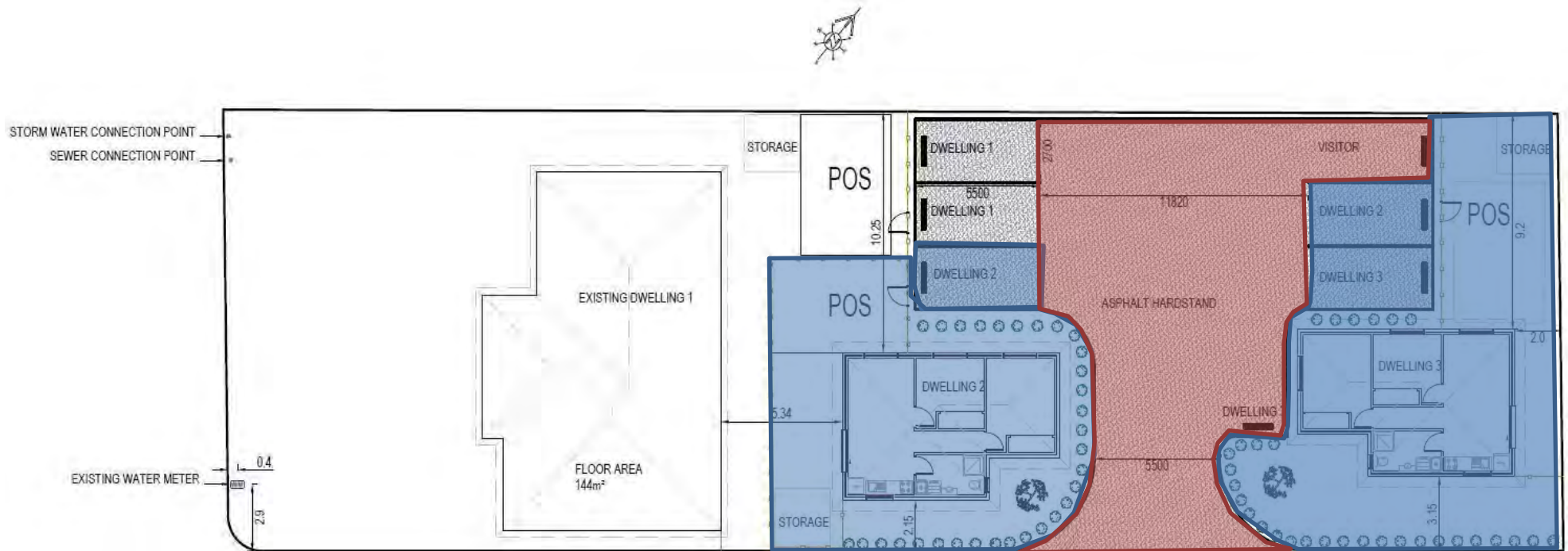
*Use BLOCK LETTERS

*Witness print address:

SCHEDULE ONE – REFERENCE SCHEDULE

Item 1	Licensee	Crown in Right of Tasmania (represented by the Department of Health) (ABN 11 255 872 006)	
	Notice details	C/- Commercial Services, Department of Health, Level 6, 22 Elizabeth Street, Hobart in Tasmania 7000	
	Contact	Deputy Secretary Infrastructure, Department of Health	
Item 2	Licensed Area	All that part of the Land and any buildings as highlighted in blue on the plan annexed to this Licence and marked “Annexure A”	
	Common Area	All that part of the Land and any improvements as highlighted in orange on the plan annexed to this Licence and marked “Annexure A”	
Item 3	Term	THREE (3) YEARS and continuing thereafter until the Licensor gives 60 days’ notice of the end of the Term.	
Item 4	Commencement Date		
Item 5	Initial Licence Fee	\$1.00 to be paid annually in arrears on each anniversary of the Commencement Date by direct debit into an account nominated by the Licensor or as otherwise directed by the Licensor in writing from time to time.	
Item 6	Licence Fee Review	Not applicable.	
Item 7	Permitted Use	Residential accommodation to be used by doctors, nurses and other health professionals working at the Tasmanian Health Service’s facility the Midland Multi Purpose Centre or any private general practice clinic in Oatlands. Such accommodation is to be for no longer than SIX (6) weeks for any individual unless Council provides consent for a longer period (Council shall not unreasonably withhold such consent).	
Item 8	Option Terms	Number of further terms	Not applicable.
		Length of further term(s)	Not applicable.
Item 9	Public liability insurance	\$20 Million	

ANNEXURE A – LICENSED AREA & COMMON AREA



ANNEXURE B – CHATELS & FIXTURES

ANNEXURE C - PLANS

PROPERTY/ PROJECT DETAILS

CLIENT: SOUTHERN MIDLANDS COUNCIL
 SITE TITLE REFERENCE: 227104/4
 PROPERTY IDENTIFICATION NUMBER: 7255292
 ADDRESS: 16 CHURCH STREET
 OATLANDS TAS 7120
 LOCAL AUTHORITY: SMC
 ZONE: 7
 ZONF: BUSHFIRE ATTACK LEVEL: LOW
 CORROSION ENVIRONMENT: LOW
 SOIL CLASSIFICATION: "S"
 WIND CLASSIFICATION: "N3"
 LOT SIZE: 1100m²
 FLOOR AREA EACH NEW DWELLING: 55m²



Rock Solid Geotechnics Pty Ltd

Note:
 Builder and subcontractors to verify all dimensions and levels prior to the commencement of any work. Give 24 hours minimum notice where amendments are required to design of working drawings. These drawings are to be read in conjunction with engineers and surveyors drawings and notes. Do not scale drawings. Dimensions are to take preference over scale. Building specification and Engineers drawings shall override architectural drawings. All construction work shall be carried out in accordance with the state building regulations, local council by-laws and relevant BCA and AS codes.
Important Notice for Attention of Owner:
 The owners attention is drawn to the fact that foundations and associated drainage in all sites requires continuing maintenance to assist footing performance. Advice for foundation maintenance is contained in the CSIRO building technology file 18 and it is the owners responsibility to maintain the site in accordance with this document.

<p>DIMENSION NOTE: Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setouts and levels be confirmed on site by the Builder/Surveyor/or sub-contractor prior to the commencement of work, manufacture and installation. It is imperative that the Builder/sub-contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.</p>	<p>This drawing & design shown is the property of Longview Designs and shall not be copied nor reproduced in part or in whole in any form with out the written permission of Longview Designs and shall be used only by the client of Longview Designs for the project for which it was provided</p>	 DESIGN, DRAFTING AND BUILDING 16A GLEN LEA ROAD PONTVILLE TAS ACC NO: CC1717 EMAIL: keanandkean@hotmail.com	CLIENT NAME: SOUTHERN MIDLANDS COUNCIL		DRAWING TITLE: COVER SHEET		
			PROJECT ADDRESS: 16 CHURCH STREET, OATLANDS TAS 7120		DATE: 6/04/2023	SCALE: N/A	DRAWN BY: CK
			PROJECT: MULTIPLE DWELLINGS		REVISION No: R:0	SHEET SIZE: A3	JOB No: CHURCH

<u>CERTIFICATE BY OTHERS</u>	
ENERGY EFFICIENCY	
SOIL REPORT	

DRAWING CONTENTS:	
ARCHITECTURAL :CONSTRUCTION	
SHEET No	DRAWING TITLE
C01.0	COVER PAGE
C02.0	SITE PLAN
C03.0	FLOOR PLAN DWELLING 2
C03.1	FLOOR PLAN DWELLING 3
C04.0	ELEVATIONS DWELLING 2
C04.1	ELEVATIONS DWELLING 3
C05.0	SECTION AA
C06.0	LIGHTING CALCULATOR
C07.0	PLUMBING
C07.1	ROOF FALLS
C08.0	MASONRY DETAIL
C09.0	WATER-PROOFING
C10.0	SPECIFICATIONS
STRUCTURAL:	
S01.0	FOUNDATION PLAN DWELLING 2
S01.1	FOUNDATION PLAN DWELLING 3
S02.0	ROOF FRAME/ LINTELS DWELLING 2
S03.0	ROOF FRAME/ LINTELS DWELLING 3
S04.0	BRACING
S04.1	BRACE DETAIL
S05.0	CONCRETE DETAIL
OHS	OHS REQUIREMENTS

STORM WATER CONNECTION POINT _____
SEWER CONNECTION POINT _____

EXISTING WATER METER _____ WM 0.4
2.9

EXISTING DWELLING 1

FLOOR AREA
144m²

SITE AREA: 1100m²
DWELLINGS FOOTPRINT: 253.0m²

SELECTED PLANTINGS
1.8m PALING FENCE

STORAGE



POS

10.25

POS

5.34

STORAGE

2.15

DWELLING 1

5500
DWELLING 1

DWELLING 2

DWELLING 2

2700

11820

ASPHALT HARDSTAND

5500

DWELLING 3

DWELLING 2

DWELLING 3

DWELLING 3

3.15

POS

2.0

STORAGE

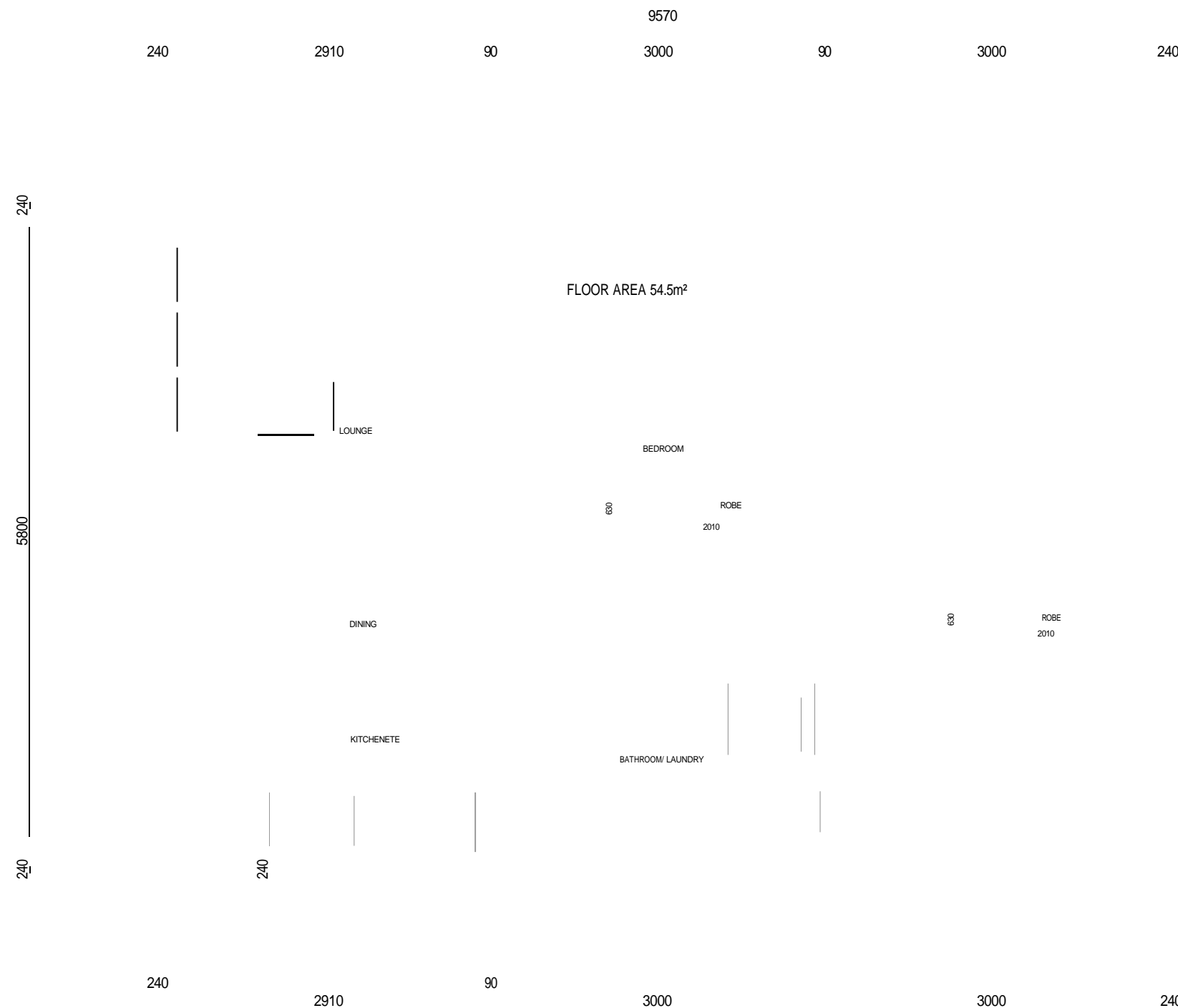
Note:

BUILDER AND SUBCONTRACTORS TO VERIFY ALL DIMENSIONS AND LEVELS PRIOR TO THE COMMENCEMENT OF ANY WORK. GIVE 24 HOURS MINIMUM NOTICE WHERE AMENDMENTS ARE REQUIRED TO DESIGN OF WORKING DRAWINGS. THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ENGINEERS AND SURVEYORS DRAWINGS AND NOTES. DO NOT SCALE DRAWINGS. DIMENSIONS ARE TO TAKE PREFERENCE OVER SCALE. BUILDING SPECIFICATION AND ENGINEERS DRAWINGS SHALL OVERRIDE ARCHITECTURAL DRAWINGS. ALL CONSTRUCTION WORK SHALL BE CARRIED OUT IN ACCORDANCE WITH THE STATE BUILDING REGULATIONS. LOCAL COUNCIL BY-LAWS AND RELEVANT BCA AND AS CODES.

IMPORTANT NOTICE FOR ATTENTION OF OWNER:

THE OWNERS ATTENTION IS DRAWN TO THE FACT THAT FOUNDATIONS AND ASSOCIATED DRAINAGE IN ALL SITES REQUIRES CONTINUING MAINTENANCE TO ASSIST FOOTING PERFORMANCE. ADVICE FOR FOUNDATION MAINTENANCE IS CONTAINED IN THE CSIRO BUILDING TECHNOLOGY FILE 18 AND IT IS THE OWNERS RESPONSIBILITY TO MAINTAIN THE SITE IN ACCORDANCE WITH THIS DOCUMENT.

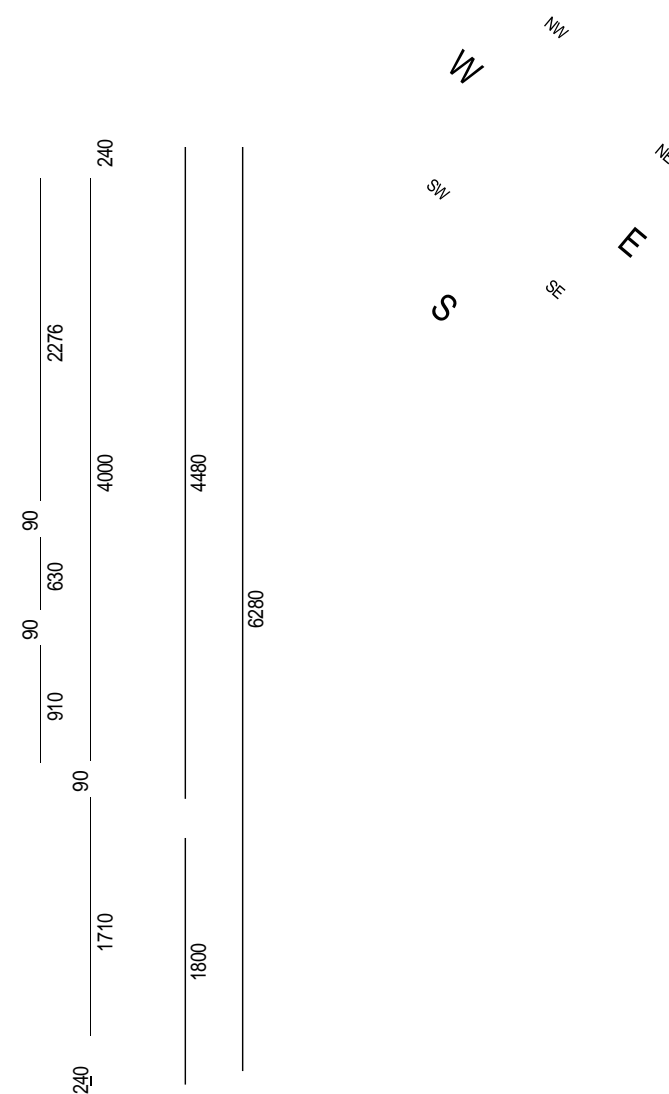
AA
C05.0



FLOOR AREA 54.5m²

2 DWELLING 2 FLOOR PLAN

Scale: 1:50



3.5.4.6 FLASHINGS TO WALL OPENINGS

OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO THE WEATHER MUST BE FLASHED WITH MATERIALS COMPLYING WITH AS/NZS 2904 AND IN ACCORDANCE WITH THE FOLLOWING:

(a) FLASHINGS MUST BE PROVIDED TO BOTTOM, TOPS AND SIDES OF OPENINGS, EXCEPT AS PERMITTED BY (D) AND MUST BE INSTALLED SO THAT THE FLASHING -

- (1) EXTENDS NOT LESS THAN 110MM BEYOND THE REVEALS ON EACH SIDE OF THE OPENING WHERE PRACTICABLE; AND
- (2) IS ATTACHED TO THE WINDOW AND WALL FRAMING; AND
- (3) AT THE TOP AND BOTTOM OF THE OPENING, DRAINS TO THE OUTSIDE FACE OF THE WALL OR CLADDING.

(b) JOINS IN THE FLASHING MUST -

- (1) OVERLAP BY NOT LESS THAN 75 MM IN THE DIRECTION OF FLOW; AND
- (2) BE SECURELY FASTENED AT INTERVALS OF NOT MORE THAN 40 MM; AND
- (3) HAVE SEALANT INSTALLED BETWEEN LAPS

(c) THE METHOD OF FLASHING MUST BE SUITABLE FOR THE FRAMING AND CLADDING USED AND ANY REVEAL FOR THE WINDOW OR DOOR SYSTEM OR ANY ARCHITRAVE OR FINISHING TRIMS THAT MAY BE INSTALLED.

(d) THE TOP OF AN OPENING NEED NOT BE FLASHED WHERE IT IS ADEQUATELY PROTECTED BY AN EAVE OF A WIDTH MORE THAN 3 TIMES THE HEIGHT OF THE CLADDING ABOVE THE OPENING (SEE FIGURE 3.5.4.5).

FLASHINGS MUST BE SECURELY FIXED AT LEAST 25 MM UNDER THE CLADDING AND EXTEND OVER THE ENDS AND EDGES OF THE FRAMING OF THE OPENING.

DRAWING TITLE:
FLOOR PLAN DWELLING 2

DATE:
6/04/2023

SCALE:
1:50

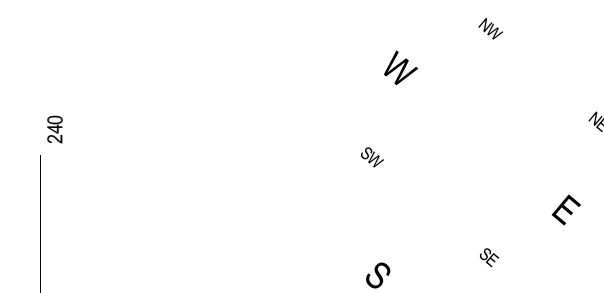
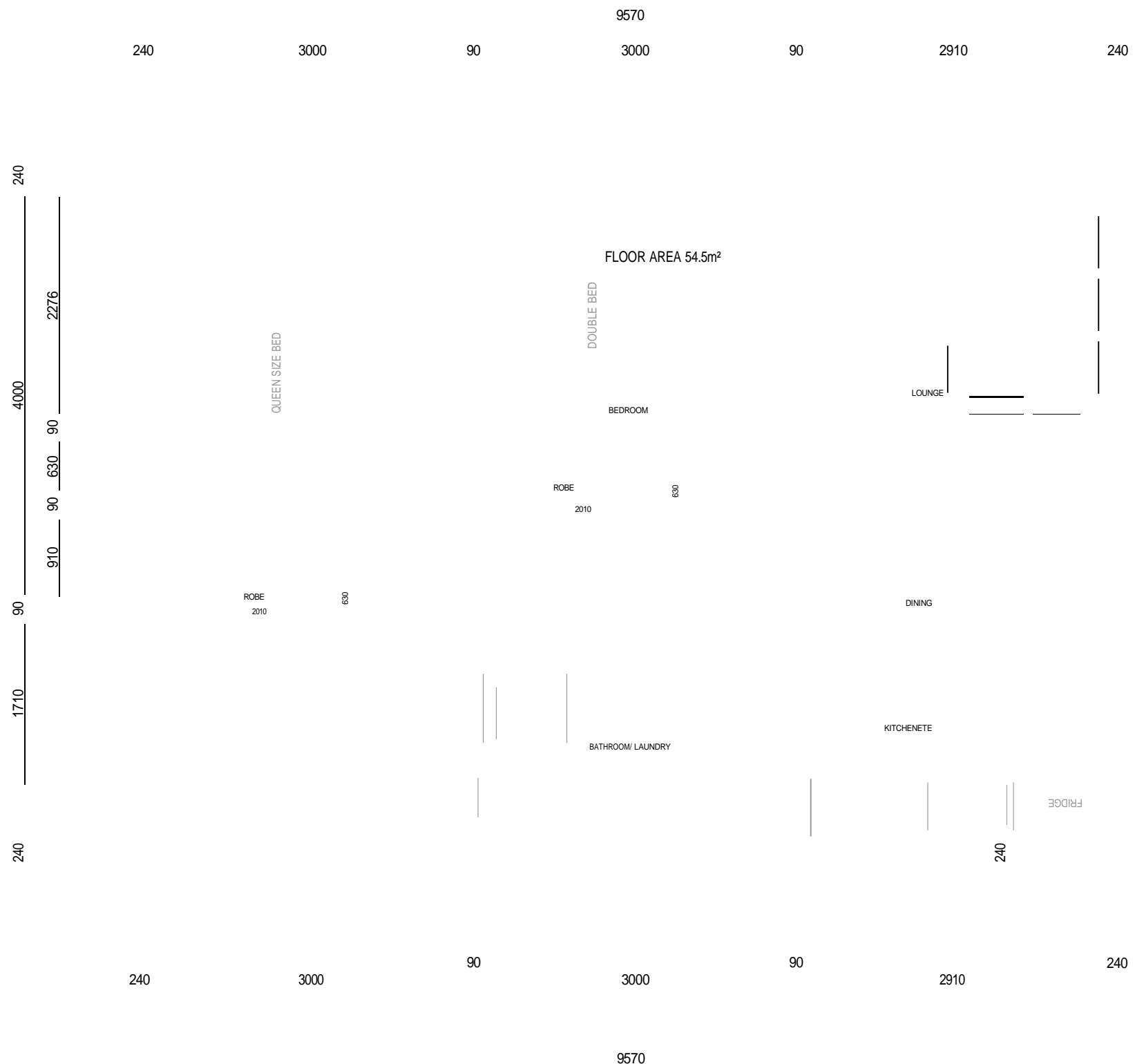
DRAWN BY:
CK

DIMENSION NOTE:
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PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120



3 DWELLING 3 FLOOR PLAN
Scale: 1:50

3.5.4.6 FLASHINGS TO WALL OPENINGS

OPENINGS IN EXTERNAL WALL CLADDING EXPOSED TO THE WEATHER MUST BE FLASHED WITH MATERIALS COMPLYING WITH AS/NZS 2904 AND IN ACCORDANCE WITH THE FOLLOWING:

(a) FLASHINGS MUST BE PROVIDED TO BOTTOM, TOPS AND SIDES OF OPENINGS, EXCEPT AS PERMITTED BY (D) AND MUST BE INSTALLED SO THAT THE FLASHING -

- (1) EXTENDS NOT LESS THAN 110MM BEYOND THE REVEALS ON EACH SIDE OF THE OPENING WHERE PRACTICABLE: AND
- (2) IS ATTACHED TO THE WINDOW AND WALL FRAMING: AND
- (3) AT THE TOP AND BOTTOM OF THE OPENING, DRAINS TO THE OUTSIDE FACE OF THE WALL OR CLADDING.

(b) JOINS IN THE FLASHING MUST -

- (1) OVERLAP BY NOT LESS THAN 75 MM IN THE DIRECTION OF FLOW: AND
- (2) BE SECURELY FASTENED AT INTERVALS OF NOT MORE THAN 40 MM: AND
- (3) HAVE SEALANT INSTALLED BETWEEN LAPS

(c) THE METHOD OF FLASHING MUST BE SUITABLE FOR THE FRAMING AND CLADDING USED AND ANY REVEAL FOR THE WINDOW OR DOOR SYSTEM OR ANY ARCHITRAVE OR FINISHING TRIMS THAT MAY BE INSTALLED.

(d) THE TOP OF AN OPENING NEED NOT BE FLASHED WHERE IT IS ADEQUATELY PROTECTED BY AN EAVE OF A WIDTH MORE THAN 3 TIMES THE HEIGHT OF THE CLADDING ABOVE THE OPENING (SEE FIGURE 3.5.4.5). FLASHINGS MUST BE SECURELY FIXED AT LEAST 25 MM UNDER THE CLADDING AND EXTEND OVER THE ENDS AND EDGES OF THE FRAMING OF THE OPENING.

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LOOK ALIKE SANDSTONE MASONRY BLOCKWORK
GALVANIZED ROOFING

30°

fcl

2700

ffi

D2 SOUTH EASTERN ELEVATION

Scale: 1:50

D2 NORTH EASTERN ELEVATION

Scale: 1:50

30°

fcl

2700

ffi

fcl

2700

ffi

D2 NORTH WESTERN ELEVATION

Scale: 1:50

D2 SOUTH WESTERN ELEVATION

Scale: 1:50

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DRAWING TITLE:
ELEVATIONS DWELLING 2

DATE:
6/04/2023

SCALE:
1:50

DRAWN BY:
CK

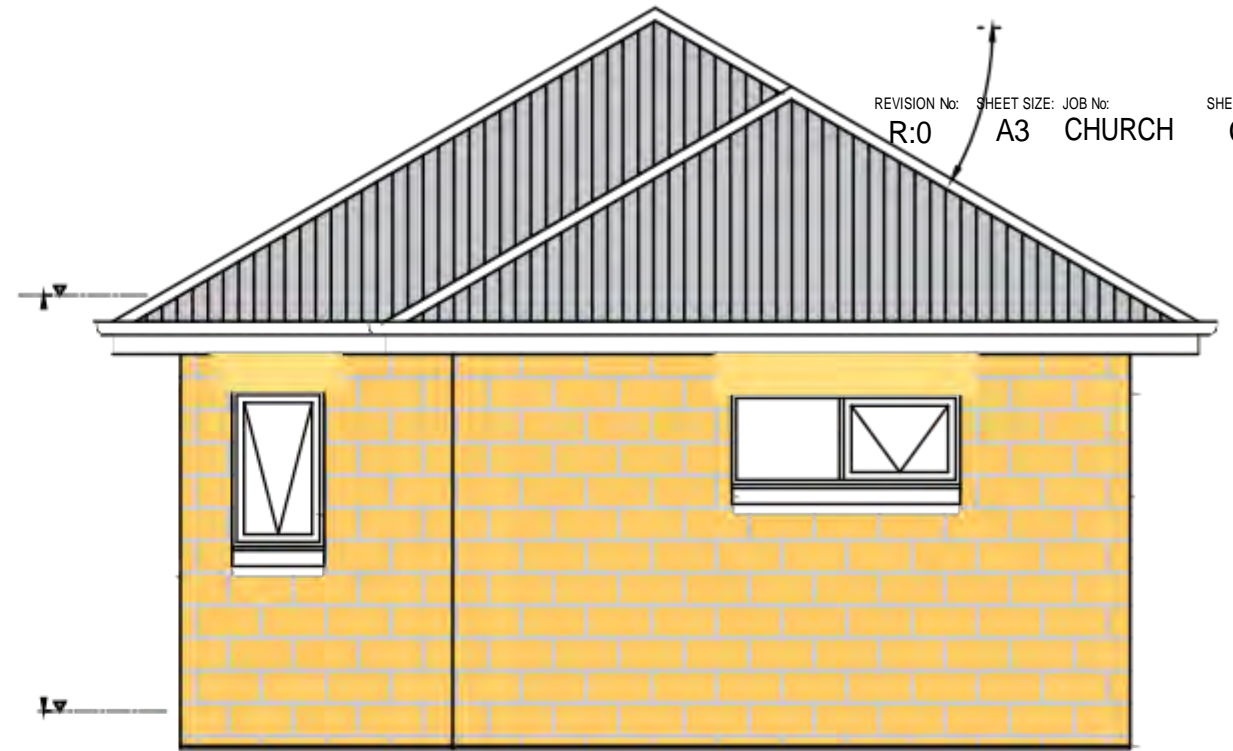
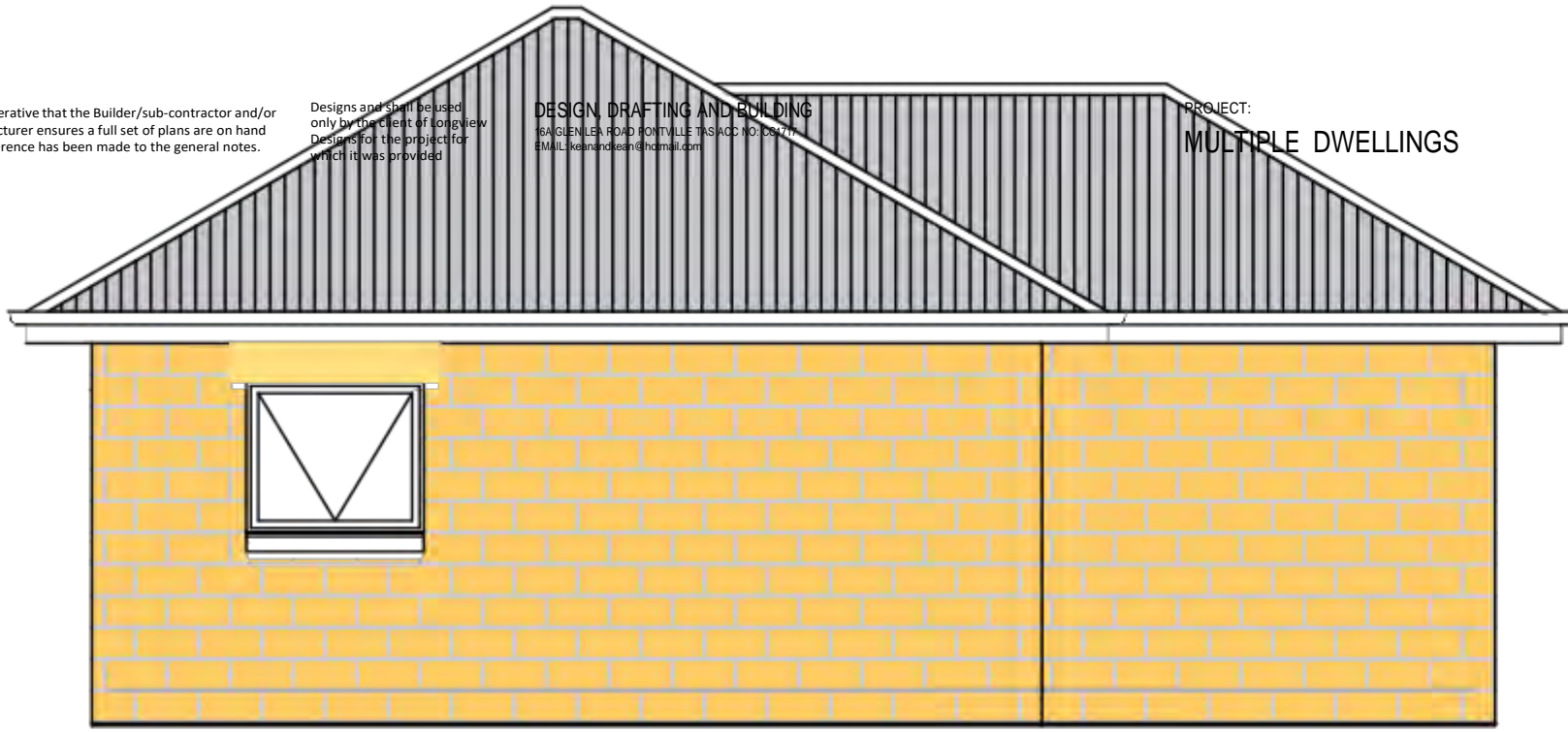
It is imperative that the Builder/sub-contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

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DESIGN, DRAFTING AND BUILDING
16A GLENLEA ROAD BONTVILLE TAS ACC NO: 08477
EMAIL: kevinandsean@hotmail.com

PROJECT:
MULTIPLE DWELLINGS

REVISION No: R:0 SHEET SIZE: A3 JOB No: CHURCH SHEET No: C04.0



fcl

2700

ffi

D3 NORTH WESTERN ELEVATION
Scale: 1:50

30°

fcl

2700

ffi

D3 SOUTH WESTERN ELEVATION
Scale: 1:50

LOOK ALIKE SANDSTONE MASONRY BLOCKWORK
GALVANIZED ROOFING

30°

fcl

2700

ffi

D3 SOUTH EASTERN ELEVATION
Scale: 1:50

fcl

2700

ffi

D2 NORTH EASTERN ELEVATION
Scale: 1:50

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MIDLANDS
COUNCIL
PROJECT ADDRESS:
16 CHURCH
STREET,
OATLANDS
TAS 7120

DRAWING TITLE:
ELEVATIONS
DWELLING 3

DATE:
6/04/2023

It is imperative that the Builder/sub-contractor and/or manufacturer ensures a full set of plans are on hand and referene has been made to the general notes.

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DESIGN, DRAFTING AND BUILDING
16A GLEN LEA ROAD PONTVILLE TAS ACC NO: CC1117
EMAIL: kearandkean@hotmail.com

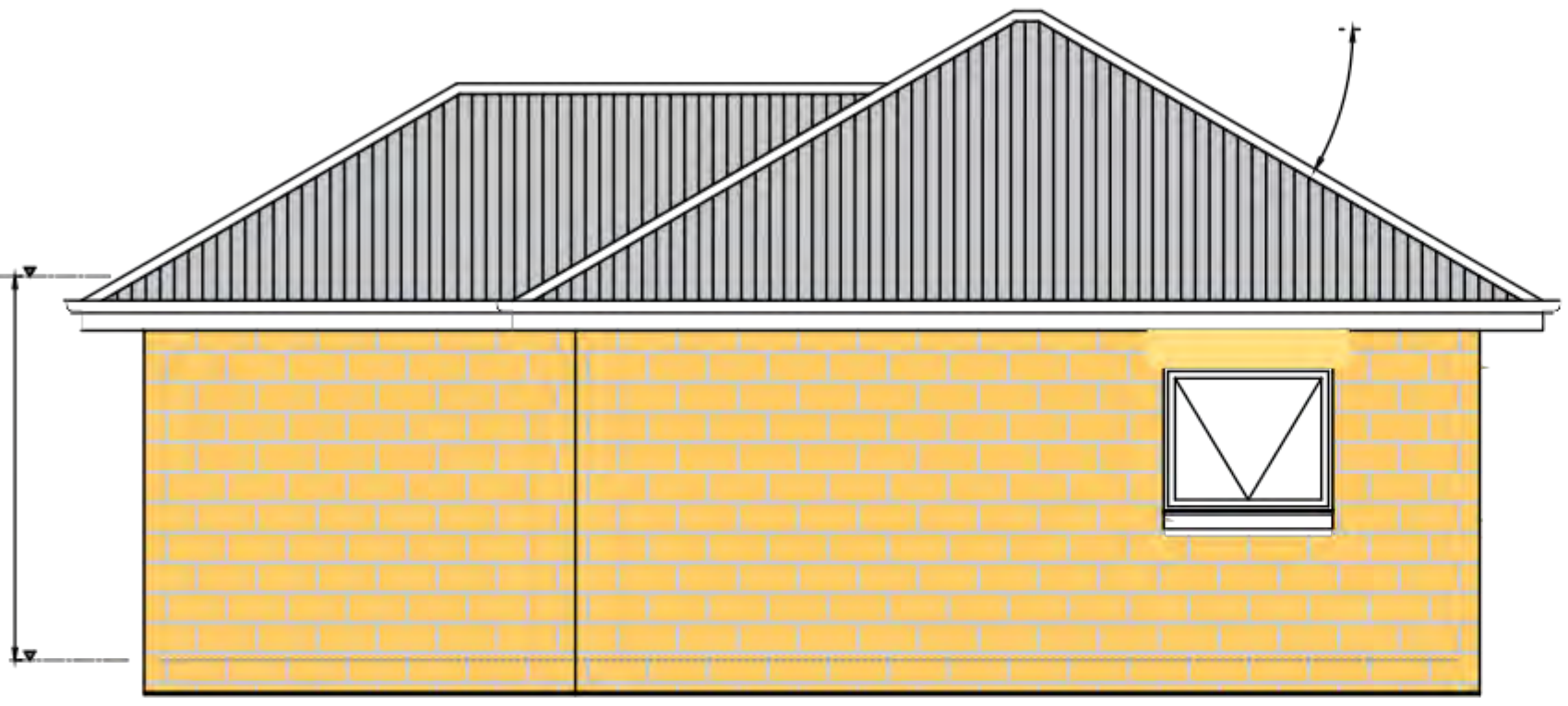
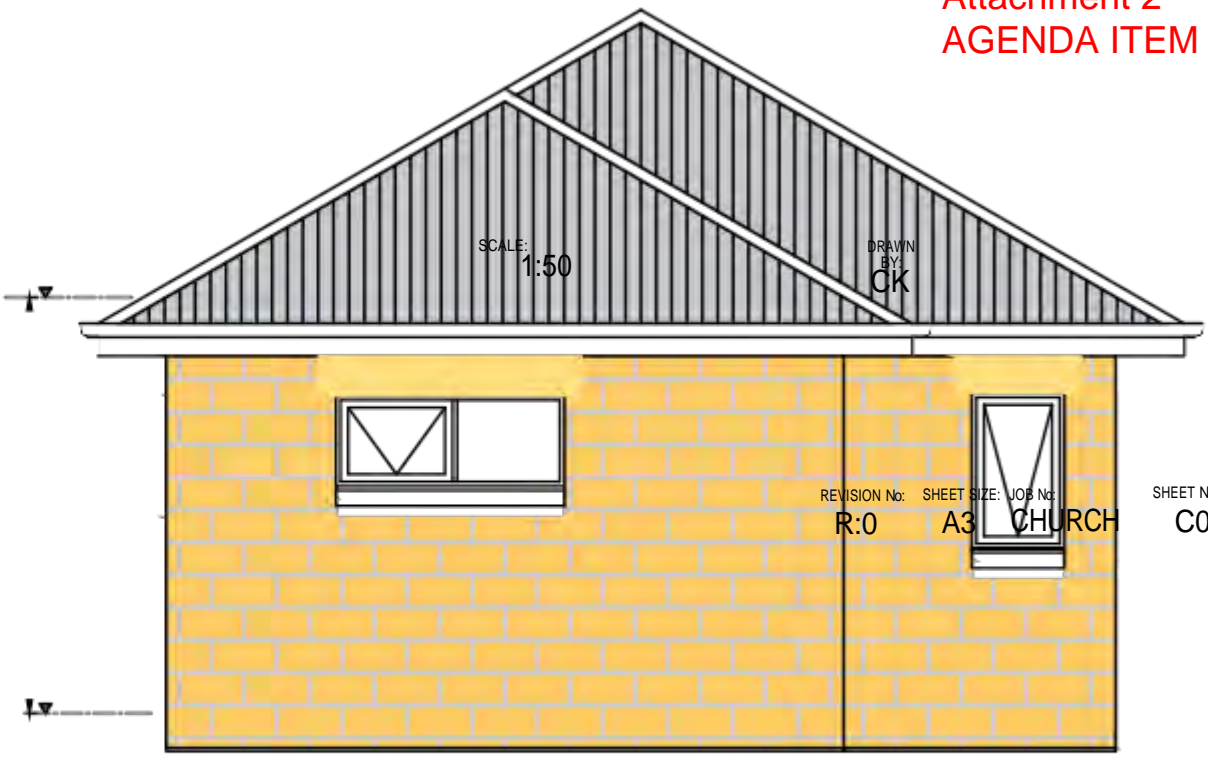
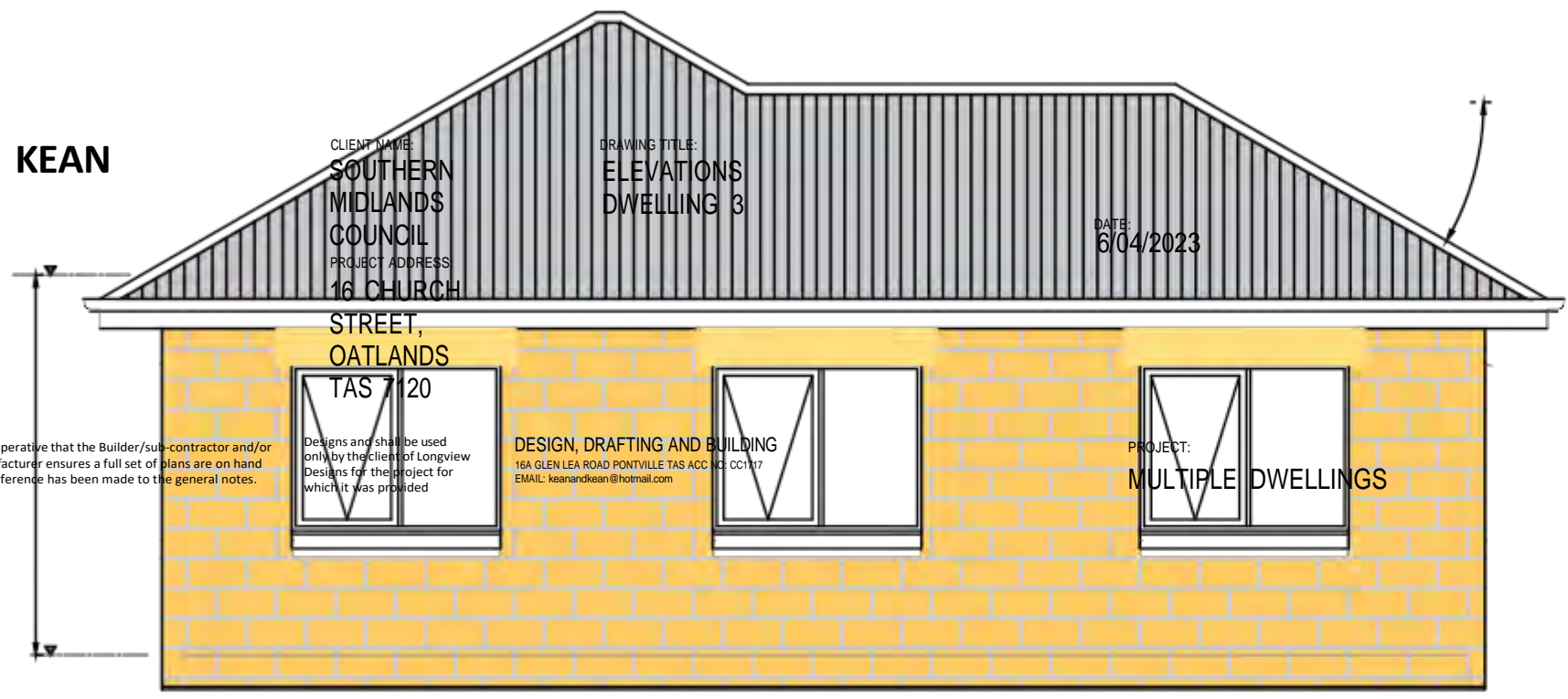
PROJECT:
MULTIPLE DWELLINGS

SCALE:
1:50

DRAWN BY:
CK

REVISION No: SHEET SIZE: JOB No:
R:0 A3 CHURCH

SHEET No:
C04.1



Attachment 2 AGENDA ITEM 18.1.1

SARKING:
FOIL TYPES OF VAPOUR PERMEABLE ROOF SARKING TO BE INSTALLED AS A MINIMUM TO ALL ROOF AREAS. SARKING TO BE LAYED WITH A MIN OF 100MM END LAP OVER THE LOWER SHEET AND EXTEND TO DISCHARGE NEATLY INTO ROOF GUTTERING.

GUTTERING AND DOWN PIPES:
ALL GUTTERING AND DOWN PIPES SHALL BE DESIGNED AND INSTALLED IN ACCORDANCE WITH AS/NZS 3500.3.2- STORM WATER DRAINAGE, AS 2179 METAL RAINWATER GOODS, THE BCA AND THE RELEVANT MANUFACTURERS INSTRUCTIONS. ALL GUTTERS MUST

BE INSTALLED WITH A FALL OF NOT LESS THAN 1:500 FOR EAVES, GUTTERS AND 1:200 FOR BOXED GUTTERS. EAVE GUTTERS MUST BE SUPPORTED BY BRACKETS @ MAX 1200MM CRTS

METAL ROOFING AND FLASHING:
COLOR-BOND CORRUGATED METAL ROOF SHEETING TO BE INSTALLED TO AS 1562 & PART 3.5.1 OF THE NCC AND MANUFACTURERS SPECIFICATIONS WITH FIXINGS EVERY 2ND RIB END SPANS AND EVERY 3RD RIB ELSEWHERE

ROOF TRUSSES: @ 900mm Crs

ARE TO BE DESIGNED AND CERTIFIED BY TRUSS MANUFACTURER. A COPY OF TRUSS LAYOUT & ENGINEER CERTIFICATION TO BE PROVIDED TO THE BUILDING SURVEYOR

ROOF BATTENS:

90 X 35 MGP10 BATTENS SPACED FOR 0.42 CORRUGATED IRON-650MM END SPANS- FIXING EVERY SECOND RIB
900MM INTERNAL SPANS MAX- FIXING EVERY THIRD RIB

SITE DRAINAGE NOTES:
SITE DRAINAGE SHALL BE IN ACCORDANCE WITH THE NCC AND AS 2870 REQUIREMENTS. ALL DRAINAGE SHALL BE DESIGNED AND CONSTRUCTED TO AVOID WATER PONDING AGAINST OR NEAR FOOTINGS. THE GROUND IN THE IMMEDIATE VICINITY OR THE PERIMETER FOOTINGS INCLUDING GROUND UPHILL FROM THE SLAB ON CUT AND FILL SITES, SHALL BE GRADED TO A FALL OF 5% AWAY FROM THE FOOTING OVER A MINIMUM DISTANCE OF 1000MM.
SUB-SOIL DRAINAGE SYSTEMS INSTALLED FOR THE PURPOSE OF DIVERTING SURFACE OR SUB-SURFACE WATER AWAY FROM THE PROPOSED DWELLING SHALL BE CONSTRUCTED PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORKS. WATER RUN OFF SHALL BE COLLECTED AND CHANDELLED AWAY FROM THE BUILDING DURING CONSTRUCTION.

Plaster ceiling battens:
16mm nail up battens fixed to underside of trusses for plaster installation.

INTERNAL LININGS
WALL:
Wet areas are to be lined with WR Board or villaboard. All other walls to be lined with 10mm plaster-board and installed in accordance with AS/NZS 2589 / 2007
CEILING:
All internal ceilings to be lined with 10mm plaster-board and installed in accordance with AS / NZS 2589/ 2007

GLAZING PART 3.6 NCC

All windows are to be aluminium awning style, double glazed. All glazing shall comply with the requirements of AS 2047 & AS 1288 and NCC clauses in part 3.6

Human impact safety requirements shall comply with NCC clauses 3.6.4 pane within 500mm from finished floor level & glazed full height.

Where windows or doors are to be installed directly on top of a slab edge, a minimum 20mm rebate must be provided. Alternativley they may be flashed or a sub sill installed to prevent water penetration and structural damage.

VAPOR PERMEABLE SISAL

DPC
PERPS

VOID VOID VOID VOID

AA TYPICAL SECTION

Scale: 1:25

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DIMENSION NOTE:
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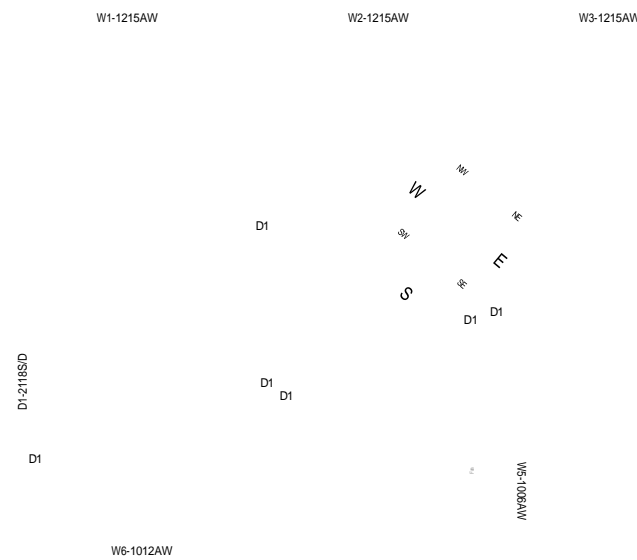
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KEAN &

KEAN

CLIENT NAME:
**SOUTH
ERN**

**MIDLAN
DS
COUNCIL**



D2 DWELLING 2
Scale: 1:100

WINDOW SCHEDULE							
MARK	HEIGHT	WIDTH	TYPE	REMARKS	U	SHGC	ORIENTATION
W1	1200	1500	AWNING	CLEAR	4.62	0.62	NW
W2	1200	1500	AWNING	OPAQUE	4.62	0.62	NW
W3	1200	1500	AWNING	CLEAR	4.62	0.62	NW
W4	600	1500	AWNING	CLEAR	4.62	0.62	NE
W5	1000	600	AWNING	OPAQUE	4.62	0.62	NE
W6	1000	1200	AWNING	CLEAR	4.62	0.62	SE
D1	2100	1800	S/DOOR	CLEAR	4.62	0.62	SW



D3 DWELLING 3
Scale: 1:100

WINDOW SCHEDULE							
MARK	HEIGHT	WIDTH	TYPE	REMARKS	U	SHGC	ORIENTATION
W1	1200	1500	AWNING	CLEAR	4.62	0.62	NW
W2	1200	1500	AWNING	OPAQUE	4.62	0.62	NW
W3	1200	1500	AWNING	CLEAR	4.62	0.62	NW
W4	600	1500	AWNING	CLEAR	4.62	0.62	SW
W5	1000	600	AWNING	OPAQUE	4.62	0.62	SW
W6	1000	1200	AWNING	CLEAR	4.62	0.62	SE
D1	2100	1800	S/DOOR	CLEAR	4.62	0.62	NE

TASTIC- X 4: 20 WATT CENTRE LIGHT

TASTIC- X 2: 20 WATT CENTRE LIGHT

LIGHT SWITCH

LEGEND:
DOWN LIGHTS-LED SEALED TYPE 10 WATTS

BATTEN HOLDER FITTINGS 20 WATTS

TWIN LED FLORO 35 WATTS

EXTRACTOR FAN-TO BE VENTED TO EXTERIOR
WITH A DAMPER IN ACCORDANCE WITH
NCC 3.12.3.4

SMOKE ALARMS

- ALL SMOKE ALARMS ARE TO BE INTERCONNECTED WHERE MORE THAN 1 ALARM IS INSTALLED
- SMOKE ALARMS ARE TO BE INTERCONNECTED BETWEEN FLOORS WHERE APPLICABLE
- SMOKE ALARMS ARE TO BE LOCATED ON ALL FLOORS IN ACCORDANCE WITH THE NCC 2019

ENERGY EFFICIENCY:

A SEAL TO RESTRICT AIR INFILTRATION MUST BE FITTED TO EACH EDGE OF AN EXTERNAL DOOR & OPENABLE WINDOW (INCLUDING INTERNAL GARAGE DOOR) (A WINDOW COMPLYING WITH THE MAXIMUM AIR INFILTRATION RATES SPECIFIED IN AS 2047 NEED NOT COMPLY WITH THE ABOVE) A SEAL FOR THE BOTTOM EDGE OF AN EXTERNAL SWING DOOR (INCLUDING INTERNAL GARAGE DOOR) MUST BE A DRAFT PROTECTION DEVICE(RAVEN OR EQUIVALENT) OTHER EDGES OF EXTERNAL SWING DOOR OR THE EDGES OF AN OPENABLE WINDOW MAY BE A FOAM OR RUBBER COMPRESSIBLE STRIP, FIBROUS SEAL OR THE LIKE. ROOF, EXTERNAL WALLS, EXTERNAL FLOORS AND OPENINGS SUCH AS DOOR AND WINDOW FRAMES MUST BE CONSTRUCTED TO MINIMISE AIR LEAKAGE, IE -ENCLOSED BY INTERNAL LINING SYSTEMS THAT ARE CLOSE FITTING AT THE CEILING, WALL & FLOOR JUNCTIONS; OR - SEALED BY CAULKING, SKIRTING, ARCHITRAVES, CORNICES OR THE LIKE.

SARKING

VAPOUR PERMEABLE WALL WRAP INSTALLED AS PER MANUFACTURERS INSTRUCTIONS VAPOUR PERMEABLE ROOF SARKING INSTALLED AS PER MANUFACTURERS INSTRUCTIONS

CONDENSATION

REFERENCE SHOULD BE MADE TO THE ABCB CONDENSATION IN BUILDINGS HANDBOOK 2014 (DOWNLOAD FROM WWW.ABCB.GOV.AU), & CONDENSATION IN BUILDINGS TASMANIAN DESIGNERS GUIDE(BY UILDING STANDARDS AND OCCUPATIONAL LICENSING).

INSULATION REQUIREMENTS (CLIMATE ZONE 7)

BULK INSULATION BETWEEN EXTERNAL STUDS TO BE INSULATED WITH MIN R 2.5 BATTS (ENSURE THAT BATTS FIT WITHIN THE CAVITY WITH OUT COMPRESSION, MAKING SURE THAT THERE IS AT LEAST 25MM GAP FROM THE REFLECTIVE SURFACE. EXTERNAL WALLS TO BE CLAD, ARE TO HAVE A VAPOUR PERMEABLE SISALATION TO THE EXTERIOR OF THE FRAME AND R 2.5 BATTS. CEILING TO BE INSULATED WITH R 4.1 BATTS WITH A VAPOUR PERMEABLE FOIL ABOVE. UNDERSIDE OF FLOOR TO BE INSULATED WITH R 2.5 BATTS. SEAL EXHAUST FANS TO ENSUITE, BATHROOM, LAUNDRY AND KITCHEN AND VENT TO OUTSIDE OF DWELLING. CONSTRUCTION OF EXTERNAL WALLS, FLOOR AND ROOF MUST BE IN COMPLIANCE WITH AIR LEAKAGE NCC PART 3.12.3.5 ALL PIPES AND SERVICES TO HAVE THERMAL INSULATION COMPLYING WITH NCC PART 3.12.5.

DIMENSION NOTE:
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SOUTHERN MIDLANDS COUNCIL
PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120

DRAWING TITLE:
ELECTRICAL

DATE:
6/04/2023

SCALE:
1:100

DRAWN BY:
CK

Building name/description
16 CHURCH STREET

Classification
Class 1

Number of rows preferred in table below (as currently displayed)

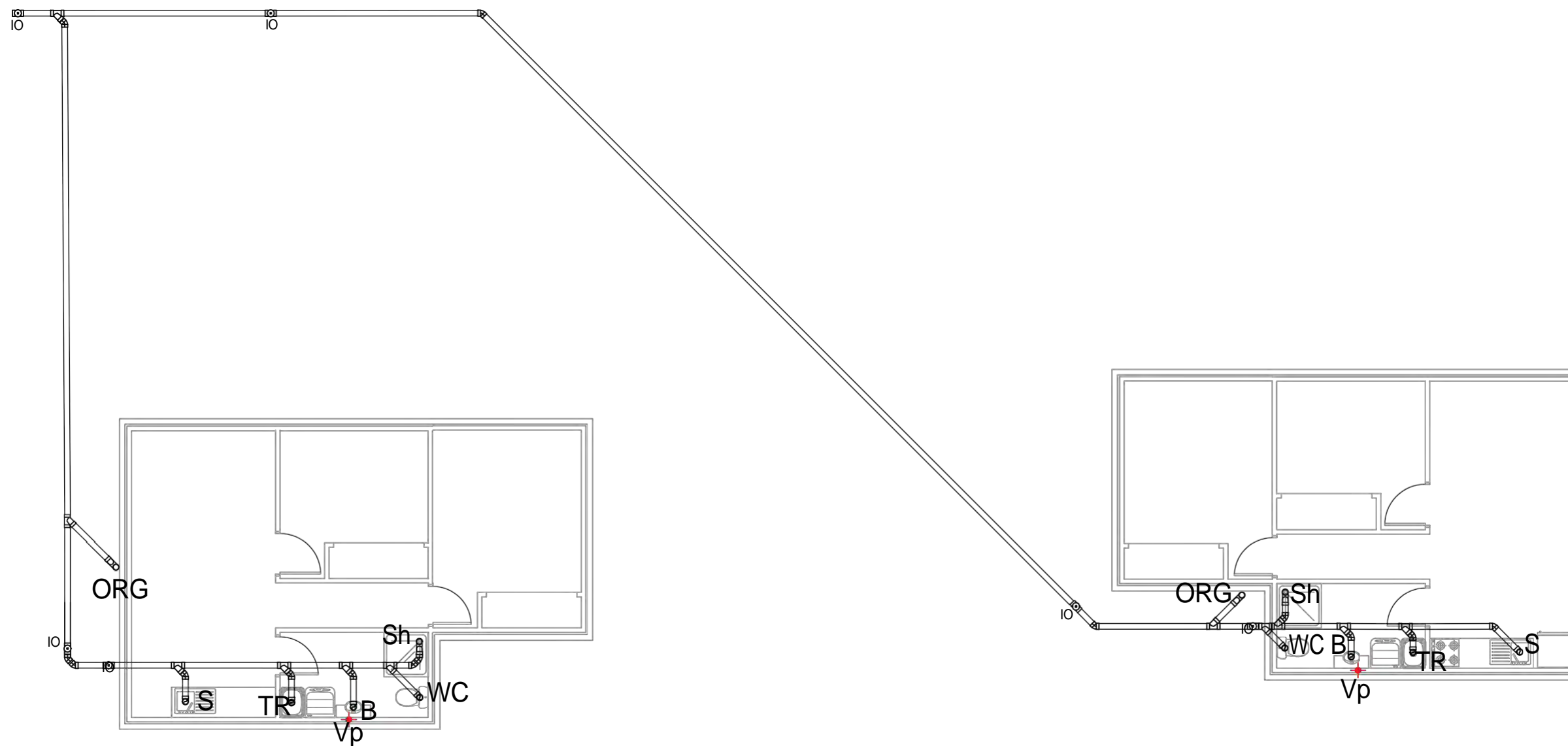
Separate aggregate allowances are calculated for Class 1, 2 or 4 cases; for a verandah or balcony; or for a Class 10 building. The '% of Allowance Used' outcomes refer to these aggregate allowances.

ID	Description	Type of space	Floor area of the space	Design Lamp or Illumination Power Load	Location	Adjustment Factor			SATISFIES PART 3.12.5.5		
						Adjustment Factor	Dimming % Area	Dimming % of Full Power	Design Lumen Depreciation Factor	Lamp or Illumination Power Density	System Share of % of Aggregate Allowance Used
1	BED 1	Bedroom	12.0 m ²	20 W	Class 1 building				5.0 W/m ²	1.7 W/m ²	13% of 42%
2	BED 2	Bedroom	9.0 m ²	20 W	Class 1 building				5.0 W/m ²	2.2 W/m ²	17% of 42%
3	HALLWAY	Corridor	2.8 m ²	10 W	Class 1 building				5.0 W/m ²	3.6 W/m ²	27% of 42%
4	BATH/ LAUND	Bathroom	5.1 m ²	20 W	Class 1 building				5.0 W/m ²	3.9 W/m ²	30% of 42%
5	KITCH/ LIVING	Living room	17.7 m ²	30 W	Class 1 building				5.0 W/m ²	1.7 W/m ²	13% of 42%
6	EXTERIOR	Verandah or balcony	10.0 m ²	10 W	Verandah or balcony				4.0 W/m ²	1.0 W/m ²	100% of 25%

56.6 m²	110 W	Class 1 building	5.0 W/m²	2.1 W/m²
		Verandah or balcony	4.0 W/m²	1.0 W/m²

if inputs are valid 

TO ONSITE CONNECTION



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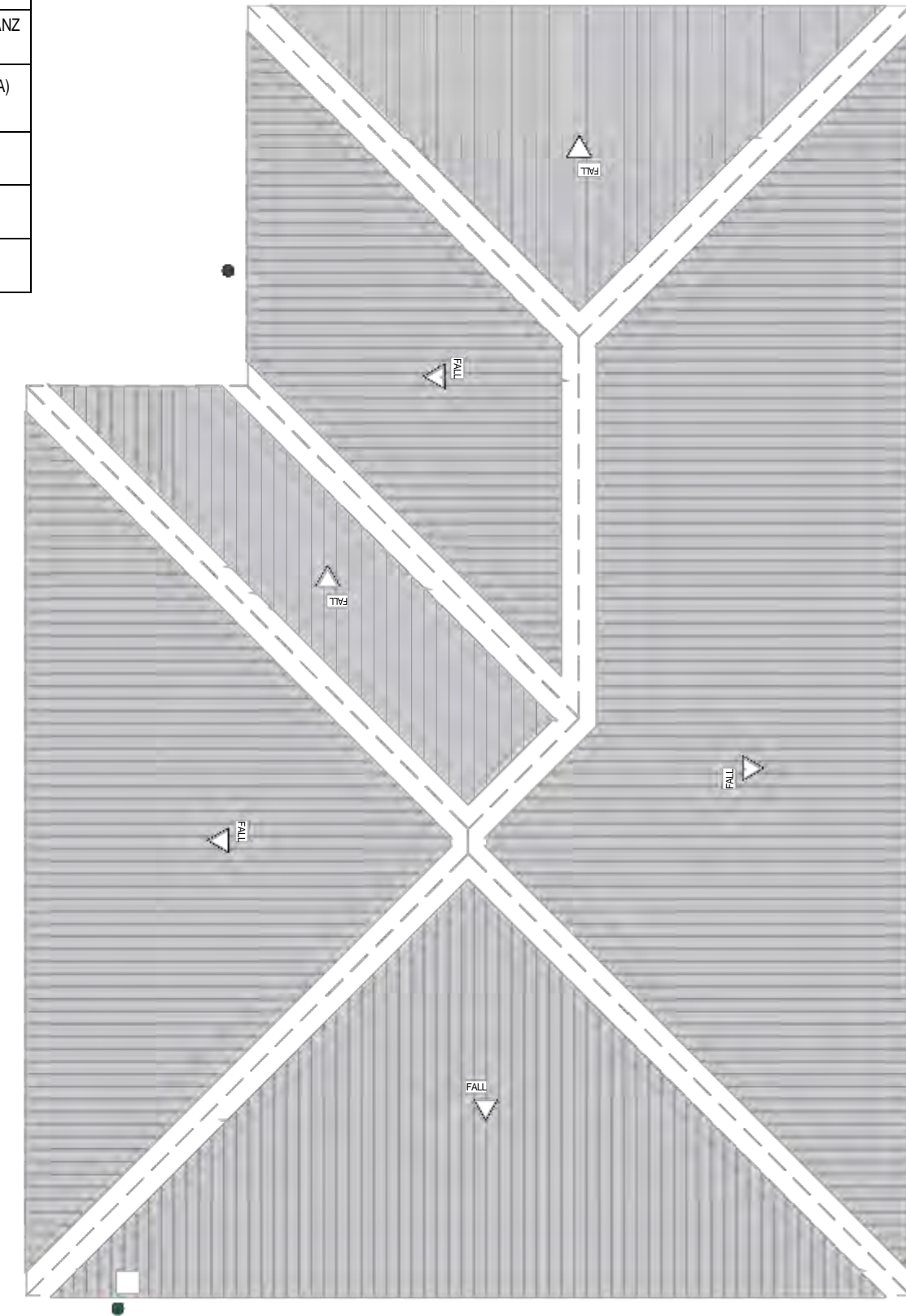
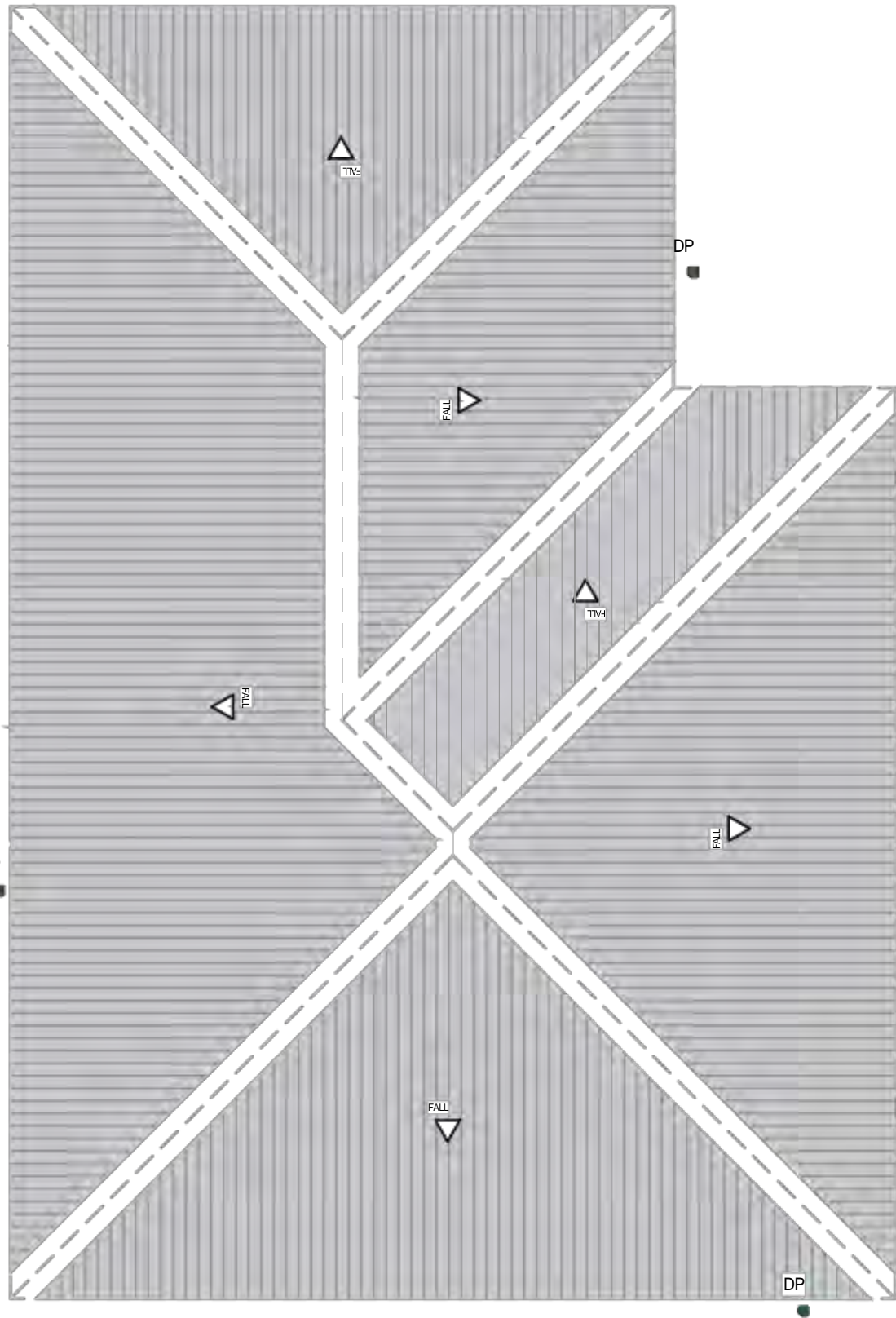
CLIENT NAME:
SOUTHERN MIDLANDS COUNCIL
PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120
PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
PLUMBING

DATE: 6/04/2023	SCALE: 1:100	DRAWN BY: CK
REVISION No: R:0	SHEET SIZE: A3	JOB No: CHURCH
		SHEET No: C07.0

PLUMBING SCHEDULE		
NOTE: All Plumbing To AS 3500, Tasmanian Plumbing Code & Building Regulations 2016. Note ORG Is To Be 150mm Lower Than The Lowest Fixture Rim Height		
MARK	ITEM	SIZE
ORG	ORG	DN100 + TAP OVER
S	KITCHEN SINK	DN50
Tr	TROUGH	DN50
Vp	VENT	DN50
WC	WC	DN100
B	BASIN	DN40
Sh	SHOWER	DN50
Bth	BATH	DN40
MINIMUM GRADIENT FOR SEWER PIPE IN ACCORDANCE WITH AS/NZS3500		
DN65	1:40	2.5%
DN100	1:60	1.67%
DN125	1:80	1.25%
DN150	1:100	1.0%
MINIMUM STORM WATER GRADIENTS IN ACCORDANCE WITH AS/NZS3500		
DN90	1:100	1.0%
DN100	1:100	1.0%
DN150	1:100	1.0%

DOWNPIPE AND ROOF CATCHMENT AREA CALCULATIONS (Per AS/NZS 3500,3:2003)		
Ah		Area of Roof(including 115mm Quad Gutter) (m ²)
Ac		A _v x slope factor (Table 3.2 from AS/NZS 3500,3:2003) (1.29 FOR 30° PITCH) (M ²)
Ae	6555	Cross Sectional Area of 57 x 115 Quad Gutter, (mm ²)
DRI	100	Design Rainfall Intensity (determined from figure E8 from AS/ANZ 3500, 3:2003)
A _{dp}	64	Catchment area per Downpipe (determined from figure 3.5(A) from AS/ANZ 3500,3:2003) (m ²)
AREA		69.61 x 1.29 = 89.78 per dwelling
Required Downpipes	2	
Down pipes Provided	3	



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It is imperative that the Builder/sub-contractor and/or manufacturer ensure a full set of plans are on hand

and reference has been made to the general

notes.

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16 CHURCH STREET, OATLANDS TAS 7120

DRAWING TITLE:
ROOF FALLS

DATE:
6/04/2023

SCALE:
1:100

DRAWN BY:
CK

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DESIGN,

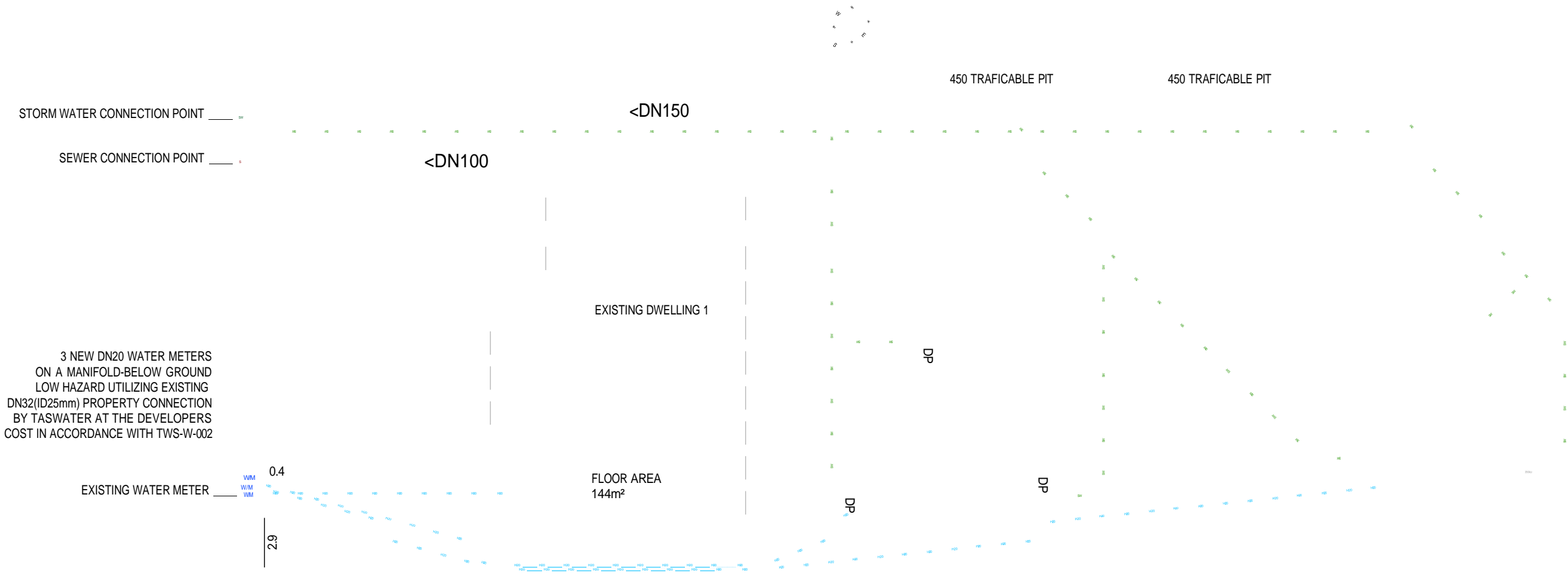
DRAFTING AND BUILDING
16A GLEN LEA ROAD PONTVILLE TAS ACC NO: CC1717
EMAIL: keanandkean@hotmail.com

PROJECT:
MULTIPLE
DWELLINGS

REVISION No:
R:0

SHEET SIZE: JOB No:
A3 CHURCH

SHEET No:
C07.1



TASWATER NOTES:
ALL WORKS ARE TO BE IN ACCORDANCE WITH THE WATER SUPPLY CODE OF AUSTRALIA WSA 03-2011-3.1 VERSION 3.1 MRWA EDITION V2.0 AND SEWAGE CODE OF AUSTRALIA MELBOURNE RETAIL WATER AGENCIES CODE WSA 02-2014-3.1 MRWA VERSION 2 AND TASWATER SUPPLEMENTS TO THESE CODES.

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KEAN & KEAN

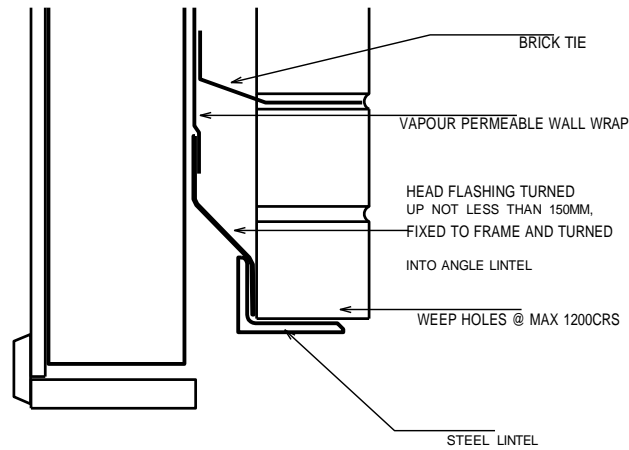
CLIENT NAME:
SOUTHERN MIDLANDS COUNCIL
PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120

DRAWING TITLE:
SITE PLUMBING

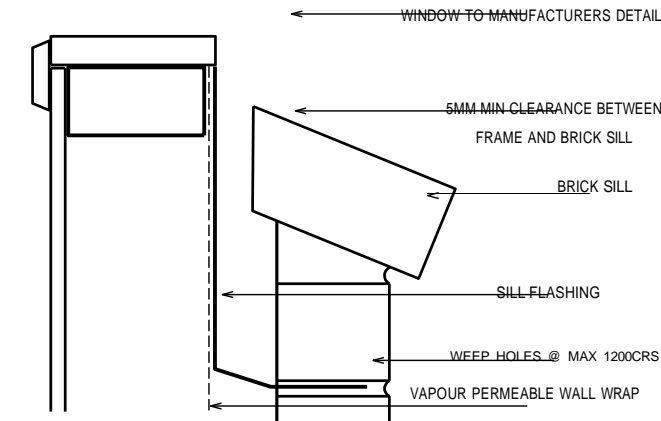
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6/04/2023

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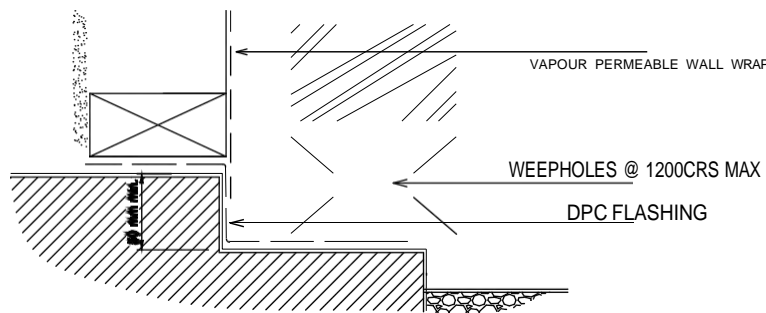
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CK



TYPICAL WINDOW HEAD DETAIL
SCALE 1:5



TYPICAL WINDOW SILL DETAIL
SCALE 1:5



TYPICAL SLAB REBATE DETAIL
SCALE 1:5

MASONRY NOTES;
All masonry to conform to AS3700, NCC and the concrete masonry Handbook produced by the Concrete and Masonry Association of Australia and all masonry lintels strictly to engineer's specifications. Provide approved brick ties to timber frame at min 600mm vertical and horizontal centres. Provide vertical Articulation joints to brick walls @ 4 metres from external corners and 6metres centres to NCC requirements. Weep Holes shall be formed in the mortar joints immediately above cavity flashings, at ctrs not exceeding 1200mm- the bed joint shall be raked out at the base to expose the flashing.

MASONRY SUB FLOOR WALLS;
Masonry sub floor walls and attached piers @ 1800ctrs max up to 1500mm high. Double masonry walls below piers over 1500mm high and up to 2400mm

VENTS;
Vents are to be Pryda metal vents 230 x 75 -52 holes = 6292mm²- vent spacing 1048mm along each wall below damp proof course, evenly spaced around the perimeter of the sub-walls. A vent must be placed within 600mm of any and all corners to facilitate cross-ventilation and ensure no dead-air spaces exist. Double leaf masonry sub-floor walls must have openings for cross ventilation in both leaves of the masonry, the inner-leaf openings being aligned with outer leaf openings. Any internal sub-floor walls must be provided with openings evenly spaced throughout the wall and having an unobstructed area equivalent to the required for the adjacent external openings. Where ventilation is obstructed by patios, paving or the like, additional ventilation must be provided to ensure that the overall level of ventilation is maintained.

CAVITY VENTILATION AND DRAINAGE:
Open weep holes to brick course immediately above any DPC or flashings at 1200 ctrs and head and sill opening over 1000mm. Sill and Head flashing installed in accordance with NCC 2016

ARTICULATION JOINTS:
Where articulation joints are required, a gap of not less than 10mm must be provided. They are to be located at the following locations:

1. a distance of 4 metres or less from external corners to NCC requirements
2. no greater than 6 metres apart along walls to NCC requirements

SUB-FLOOR VENTILATION NOTES;
The sub-floor space between a suspended floor of a building and the ground must be constructed in accordance with the NCC, including but not limited to Part 3.4.1. The sub floor space must be clear of building debris and/ or vegetation and be graded to NCC requirements The min clearance space allowable between the ground and the underside of the floor bearer is 150mm.

DAMP PROOF COURSE
To be installed under external masonry on slabs or footings, shall be of sufficient width to project past the external face of the wall ncc 2016/2 part 3.3.4.5

UN-REINFORCED MASONRY

1. All masonry to conform to the requirements of AS3700, BCA and the concrete and masonry association of Australia concrete masonry handbook U.N.O.
2. Single leaf masonry construction to be in accordance with concrete masonry association of Australia design manual for single leaf construction U.N.O.
3. Masonry lintels shall comply with BCA requirements U.N.O.
4. Provide approved brick ties to timber frame at min. 600mm vertical and horizontal centres U.N.O.
5. Vertical articulation joints are to be provided as per BCA requirements.
6. Engaged masonry piers shall be provided a max. 1600¢ for 90mm blockwork and 1800¢ for 110mm brick work in masonry subfloors as per B.C.A. CL 3.3.1.2. U.N.O.
7. Isolated masonry piers shall be provided as per BCA CL 3.3.1.4. i.e. piers shall be 230sq. To max height 1500mm and 350sq. To max height 2400mm.
8. Provide damp proof course around all windows and at floors to architectural details.
9. Provide weep holes and clean cavity from all obstructions.

REINFORCED MASONRY

1. All masonry to conform to the requirements of AS3700, BCA and the concrete and masonry association of Australia concrete masonry handbook U.N.O.
2. Single leaf masonry construction to be in accordance with concrete masonry association of Australia design manual for single leaf construction U.N.O.
3. Masonry lintels shall comply with BCA requirements U.N.O.
4. Provide ties to timber frame at min. 600mm centres U.N.O.
5. Vertical articulation joints are to be provided as per BCA requirements
6. Engaged masonry piers shall be provided a max. 1600¢ for 90mm blockwork and 1800¢ for 110mm brick work in masonry subfloors as per B.C.A. CL 3.3.1.2. U.N.O.
7. Isolated masonry piers shall be provided as per BCA 3.3.1.4. i.e. piers shall be 230sq. to max height 1500mm and 350sq. to max height 2400mm.

RETAINING WALLS

1. All work to be in accordance with AS4678, AS3600. AS3700 and the CMAA design and construction guide.
2. Grout for filling of block work walls to be min 25 MPa with maximum aggregate size of 10mm. Slump shall be maximum required to allow pumping and placement but limited to 120mm.
3. Cover to reinforcement shall be a minimum of 50mm for footings and 65mm for grouted block walls. Measured from external face of blockwork.
4. Allow minimum 3 days for mortar to cure before grout filling masonry block walls.
5. Allow minimum 14 days for grout to cure prior to backfilling behind walls.
6. Drainage shall be provided at the rear of the wall comprising of (as a minimum). A min. 90mm diameter slotted PVC pipe positioned to fall at no less than 1:100 and A min. 300mm wide drainage layer filled with 20mm clean aggregate to full height of wall. Geotextile fabric shall be provided to the upslope side of the drainage layer.
7. Articulation joints shall be as specified by the engineer.
8. Block work cavities shall be kept free of mortar droppings. Cleanout blocks shall be provided to the bottom course if required.
9. All retaining walls shall be waterproofed with a suitable propriety product U.N.O. protective backing sheet shall be installed prior to placement of aggregate backfill.

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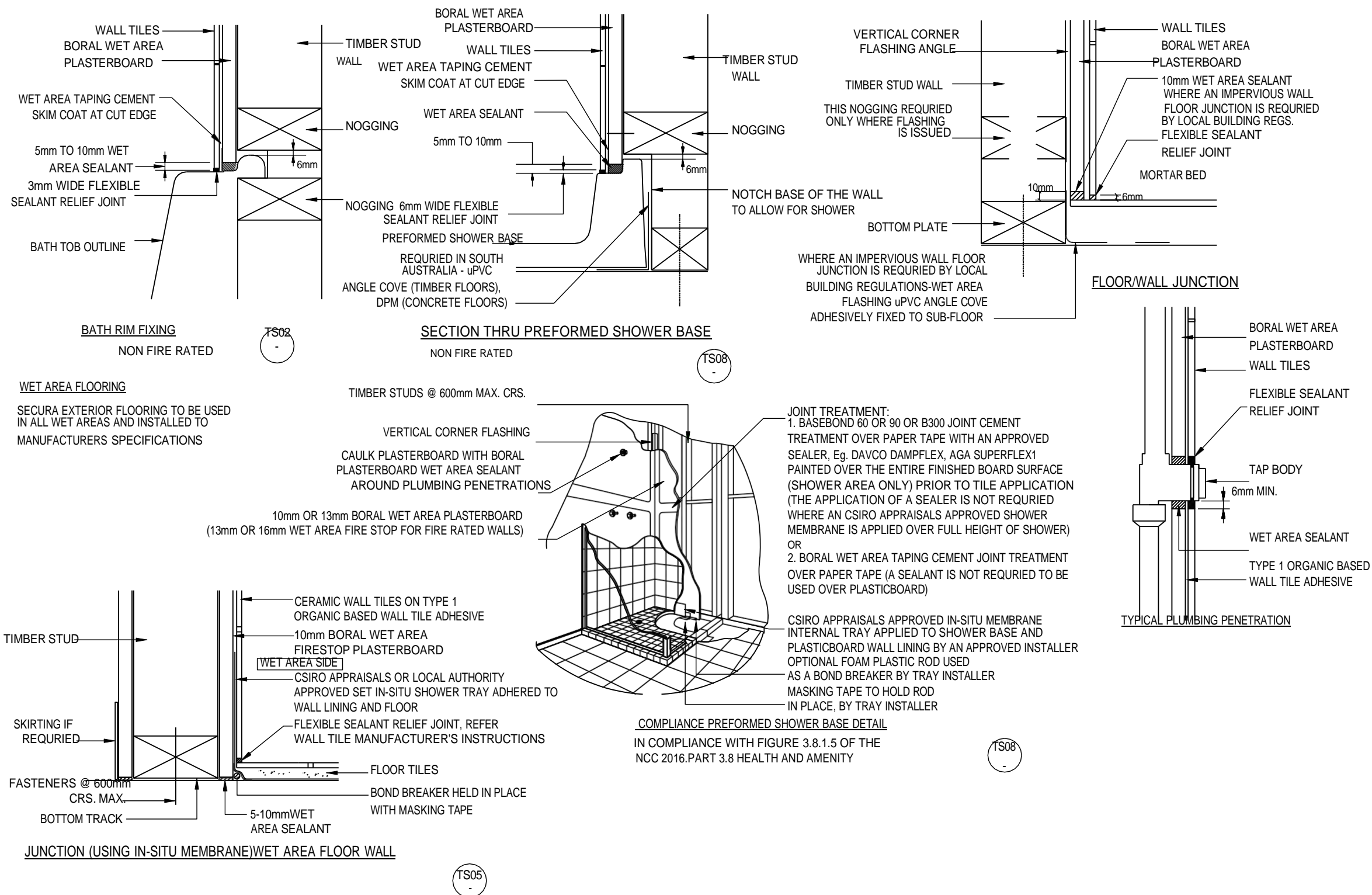
CLIENT NAME:
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PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120

PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
MASONRY NOTES

DATE: 6/04/2023	SCALE: 1:5	DRAWN BY: CK
REVISION No: R:0	SHEET SIZE: A3	JOB No: CHURCH
		SHEET No: C08.0



HEALTH & AMENITY PART 3.8 NCC:

Showers, baths and wall fixtures to all wet areas shall comply with the requirements of clauses, 3.8.1.1-6 in all wet areas provide selected ceramic tiles to concrete floors or over 15mm cement sheeting where timber framed walls are proposed. Provide waterproof plasterboard sheeting to all walls and ceilings. Provide ceramic tiles, lamipanel or other approved water - resistant lining to a minimum height of 1800mm to shower walls and to a height of 150mm behind baths, basins, sinks, troughs, washing machines and wall fixtures. For the required extent of area to be protected refer to figures 3.8.1.1, 3.8.1.2 and 3.8.1.1. For typical installation requirements of shower recesses, tap flanges, shower trays, floors and waterproof membranes refer to figures 3.8.1.5, 3.8.1.6, 3.8.1.7, 3.8.1.8 and 3.8.1.9. For typical installation requirements and sealing of wall junctions with benchtops, laundry sinks and baths refer to figures 3.8.1.10 and 3.8.1.11. Materials shall comply with the requirements of clauses 3.8.1.3, 3.8.1.4 and 3.8.1.5.

Refer to as 3740-2010 for waterproofing of domestic wet areas. As well as appropriate wall and floor treatment when a prefabricated shower unit isn't used (eg. min 1:100 fall to waste and waterproofed). Prior to commencing construction of the floor frame within these areas, details of such are to be submitted to the builder surveyor for assessment and approval.

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PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
WATER-PROOFING

DATE: 6/04/2023	SCALE: N/A	DRAWN BY: CK
REVISION No: R:0	SHEET SIZE: A3	JOB No: CHURCH
		SHEET No: C09.0

SPECIFICATIONS TO THE BCA AND AS STANDARDS

To be read in conjunction with notations on drawings

3.1-SITE PREPARATION

All filling and excavations to be in accordance with Part 3.1.1.1 NCC and table 3.1.1.1 NCC

For slab on ground buildings the finished slab height shall be generally 150mm above the external finished surface levels in accordance with Part 3.1.2.3 NCC where applicable

Grade surface levels under timber/suspended floors to obviate ponding

3.2 Footings and Slabs

Excavations for slabs to be in accordance with Part 3.2.2.1 NCC

Filling and compaction under slabs to be in accordance with Part 3.2.2.2 NCC

Site classification and wind speed as per geo-technical report. Drawings certified by consulting engineer and details to be used in construction.

All stump footings to be in accordance with Part 3.2.5.6 NCC

3.3 Masonry

External walls to be in accordance with Part 3.3.1.0 NCC internal walls to be in accordance with Part 3.3.1.0 NCC and isolated piers to Part 3.3.1.4. NCC

Vertical articulation joints are to be provided in un reinforced masonry walls for all site classifications except A & S. Joint width not to be less than 15mm and provided in accordance with Part 3.3.1.8 NCC(at 6m crts for Straight continuous walls)

Reinforced masonry to be in accordance with Part 3.3.2.2 NCC and associated tables

Wall ties to be provided in accordance with Part 3.3.3.2 NCC

Steel lintels to be provided as required in accordance with Part 3.3.3.4 NCC

Provide open perpend (weepholes) at 1200 ctrs above DPC or Flashing. Flashings to Part 3.3.4.6 NCC, weather proofing to single skin masonry walls in accordance with Part 3.3.4.7 NCC

3.4 Framing

Sub floor ventilation to Part 3.4.1.2 NCC. At the rate of 6000mm² per metre of wall length. Maintain 150mm minimum clearance under timber to ground. This may be reduced if CCA or equivalent timber is used and passed by the Building Surveyor.

Steel framing in accordance with Part 3.4.2.1 NCC and be protected and earthed in accordance with part 3.4.2.2 NCC

All timber framing to AS 1684 and stress graded in accordance with Part 3.4.3.2 NCC

Trussed roofs to be certified by manufacturer and a certificate to be provided to the Building Surveyor.

Tie down and connections to AS 1684, Bracing to be provided as shown on drawings.

Structural steel members in accordance with Part 3.4.4 NCC

Waling plates to masonry/frame in accordance with 3.10.6 NCC

3.5 Roof and Wall Cladding

Roof tiling to be in accordance with part 3.5.1.2 NCC to a maximum pitch of 35 degrees

Metal sheet roofing to be in accordance with part 3.5.1.3 and wall cladding to part 3.5.3

3.6 Glazing

All glazing to AS 1288 and AS 2047

All windows, doors and glass panels to the above Aus Standards and written evidence to be provided.

3.7 Fire Safety

Smoke alarms are to be installed and located in accordance with part 3.7.2 NCC Heating appliances to be installed in accordance with part 3.7.3 NCC and AS 2918 certificate to be provided for installation

3.7.4 Bushfire Areas

Construction of buildings in bushfire prone areas must comply with AS3959-2009

3.8 Health and Amenity

All wet areas including showers, baths and wall fixtures to be waterproofed to AS 3740 and in accordance with part 3.8.1.5 to 3.8.1.6

All wall substrates to be MR board or similar. Splash backs to be provided to a height of 1800 above shower bases, 150 above baths, hand basins and other fixtures including washing machines.

Shower recesses to comply with part 3.8.1.5 to 3.8.1.9 NCC

Room heights to be in accordance with part 3.8.2.2 NCC

Facilities to be provided in accordance with part 3.8.3.1 to 3.8.3.3 NCC

Doors to sanitary compartments to be in accordance with part 3.8.3.3 NCC and clearance of 1200 mm to be maintained between pan and nearest part of doorway.

Where this is insufficient the door is to open out, sliding or lift off hinges is to be used.

3.9 Safe Movement and Access

Stair construction in accordance with part 3.9.1 NCC with a maximum rise of 190mm and a minimum tread width of 240mm.

Balustrades to be in accordance with part 3.9.2 NCC. All balustrades to be a minimum height of 1000mm and have a maximum aperture of 125mm. Loading forces on balustrades to comply with AS 1170.1

Balustrades on stairs to be 865mm above stair nosing and in accordance with part 3.9.2.3

3.12 Energy Efficiency

Meet the requirements of the energy provisions- in particular

Provide added insulation:

- Ceiling- R 4.1 (unless an energy assessment has been undertaken and then added insulation is to be as per energy report)
- External Walls R 2.5- (unless an Energy Assessment has been undertaken and then added insulation is to be as per the Energy Assessment) (note that it should say external walls)
- Suspended Timber Floors R 2.5-(unless an Energy Assessment has been undertaken and then added insulation is to be as per the Energy Assessment)

Provide Building Sealing in accordance with Part 3.12.3 NCC

3.12.5 Services

Services to comply with NCC 3.12.5

Stormwater and Drainage

All stormwater and drainage to be in accordance with AS 3500.

GENERAL NOTES:

1. check all dimensions, boundaries, easements and service locations on site
2. standards: all work shall comply with the tasmanian building regulations, and relevant current australian standards, particularly as 2870 (residential slabs & footings) as 3700 (unified masonry code) as 3600 (concrete structures)
3. all footings shall be founded on sound rock, clay or sand foundations having a safe bearing capacity of at least 100kpa
4. slab preparation: before disturbing the ground surface, erect silt fences, construct cutoff drains and detention sumps and ensure that adequate all-weather access is provided to the site. prevent soil etc. from migrating to adjacent private or public land in accordance with local council policy. strip vegetation and other organic matter to below root zone. carry out bulk excavation where required ensuring at all stages that the excavated area is protected from excessive runoff and ponding of water cannot occur in any foundation material by provision of drains etc. build up where required to achieve design levels with road base material thoroughly compacted in max. 100 thick layers. controlled fill shall be equal to dier base class a (19mm) material compacted to 98%. standard compaction at a moisture control within +/- 1% of omc. blind with 30mm compacted sand and lay 0.2mm pvc vapour barrier, taping all joints to prevent moisture transfer.
5. all concrete to be grade n25 (20mm nominal aggregate size) placed in accordance with section 19 of as 3600 and 80mm slump and trowel finish
6. maintain 60mm clear concrete cover to reinforcement in footings, 30mm elsewhere.
7. cure all concrete for 7 days (minimum) by ponding with water, covering with pvc sheeting or application of chlorinated rubber curing compound.
8. concrete dimensions shown are the minimum requirements for the classification of this site. actual founding depths may vary to suit floor levels and the requirements of note 3# above. it is not necessary to remove solid rock simply to achieve footing dimensions as long as continuity and cover of reinforcement are maintained.
9. minimum height above ground level to slab top to be 150mm
10. plumbing penetrations to be taped and sealed with denso tape
11. penetrations are only permitted through middle third of footing or beam but if impossible then beam is to be increased in size by pipe diameter to 500mm each way of centre of pipe
12. bitumastic seal and water proofing to be protected during construction and backfilling maintenance: foundation
13. where steelwork is embedded in concrete denso primer d, bitumen mastic strip and tape to be installed over steelwork

maintenance is to be carried out in accordance with as 2870 appendix b2

: slab on ground to have adjacent area graded to a minimum of 1000 from slab edge with minimum fall of 50mm

: suspended floors to have sub-floor base graded or drained to prevent ponding

: gardens should not interfere with drainage requirements or sub-floor ventilation

: any garden near house footings should not be overwatered.

: planting of any trees should be restricted to a minimum distance of 3/4 x mature height for individual planting and increased for a series of plantings.

: any plumbing leaks including spouting and downpipes should be immediately repaired.

site specific rock note: where a footing or edge beam encounters a single rock outcrop or floater over a length less than 1000m, the depth of the footing may be reduced by up to one-third provided that the amount of top and bottom reinforcement is doubled and extended 500mm past the section with reduced depth. alternatively, the footing can be stepped or raised provided the structural stiffness is preserved. attention is also drawn to notes concerning rock and foundation as per the soil report

the builder is to set out the works in conjunction with the accompanying plans. the final position is to be confirmed by the client as to being correct. all dimensions heights and levels are to be confirmed on site by all parties including local council, owner and engineer before any excavation is to be carried out. if in doubt consult a registered surveyor.

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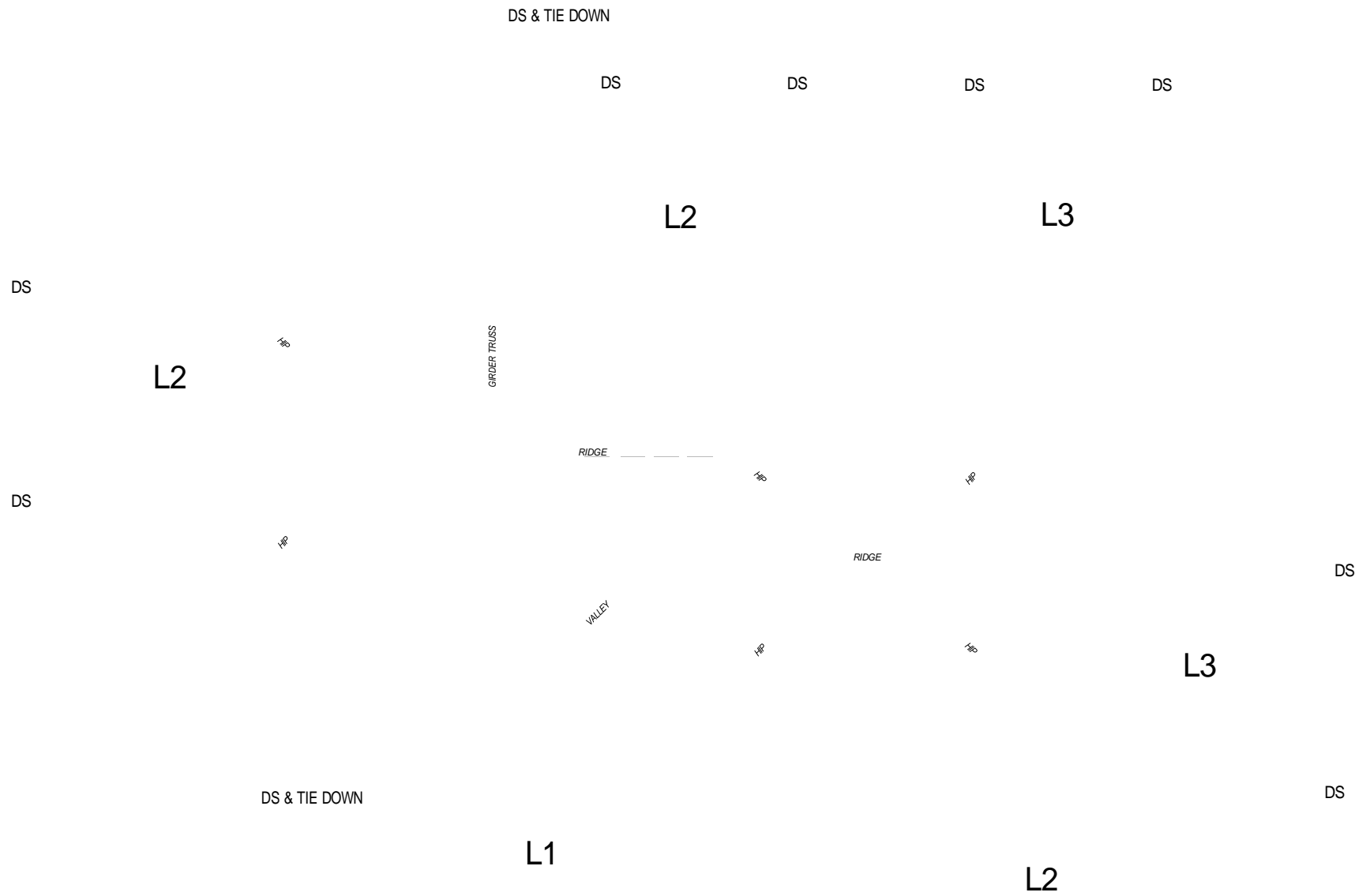
CLIENT NAME:
SOUTHERN MIDLANDS COUNCIL

PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120

PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE: SPECIFICATIONS		DATE: 6/04/2023	SCALE: N/A	DRAWN BY: CK
REVISION No: R:0	SHEET SIZE: A3	JOB No: CHURCH	SHEET No: C10.0	

CONCENTRATED LOADS:
TO SUPPORT CONCENTRATED LOADS (E.G. GIRDER TRUSS), AS A
MINIMUM, A DOUBLE STUD IS REQUIRED IN THE WALL FRAME.



TIMBER FRAME SCHEDULE						
FOR SHEET ROOF SINGLE STOREY OR UPPER STOREY LOAD BEARING WALL OPENINGS.						
MEMBER	SIZE	MATERIAL	GRADE	SPAN	CRITERIA	ADDITIONAL CRITERIA
Studs	90 x 35	R/PINE	MGP10	450 CENTRES		LOAD BEARING WALLS
TOP PLATES *Where trusses are supported directly over studs or within 1.5 times the thickness of the top plate from the studs, top plate thickness may be a minimum of 35mm	Top/ bottom Plates 90 X 35	R/PINE	MGP12			INTERNAL WALLS
	Top Plates 90x45	R/PINE	MGP12	450		EXTERNAL WALLS
	Bottom PL 90 X 45	R/PINE	MGP12	450		EXTERNAL PLATES
LINTELS	90 X 45	KDHW	F17	0- 1100	L1	
	140 x 35	KDHW	F17	1100 - 1700	L2	
	140 x 45	KDHW	F17	1700 - 1900	L3	
	190 X 45	KDHW	F17	1900 - 2500	L4	
	240 X 45	KDHW	F17	2500 - 3100	L5	
	290 X 45	KDHW	F17	3100 - 3600	L6	
DS	2-90 X 35	KDHW	F17			WINDOW STUDS
TRUSSES	900 CENTRES, FULL TRUSS SPECIFICATIONS SUPPLIED WITH TRUSSES					
BATTEN (HOUSE)	90 X 35	R/PINE	MGP12	900	CONT	AT 900 CENTRES/ 600 END SPAN
BATTENS (CEILING)	TOP HAT	STEEL	TS16	900	CONT	AT 450 CENTRES

RF **TYPICAL TRUSS LAYOUT**
TO BE CONFIRMED BY TRUSS MANUFACTURER Scale: 1:50

DIMENSION NOTE:
Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setouts and levels be confirmed on site by the Builder/Surveyor/or sub-contractor prior to the commencement of work, manufacture and installation.

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CLIENT NAME:
SOUTHERN MIDLANDS COUNCIL
PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120

DRAWING TITLE:
ROOF FRAME/ LINTELS DWELLING 2

DATE:
6/04/2023

SCALE:
1:50

DRAWN BY:
CK

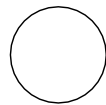
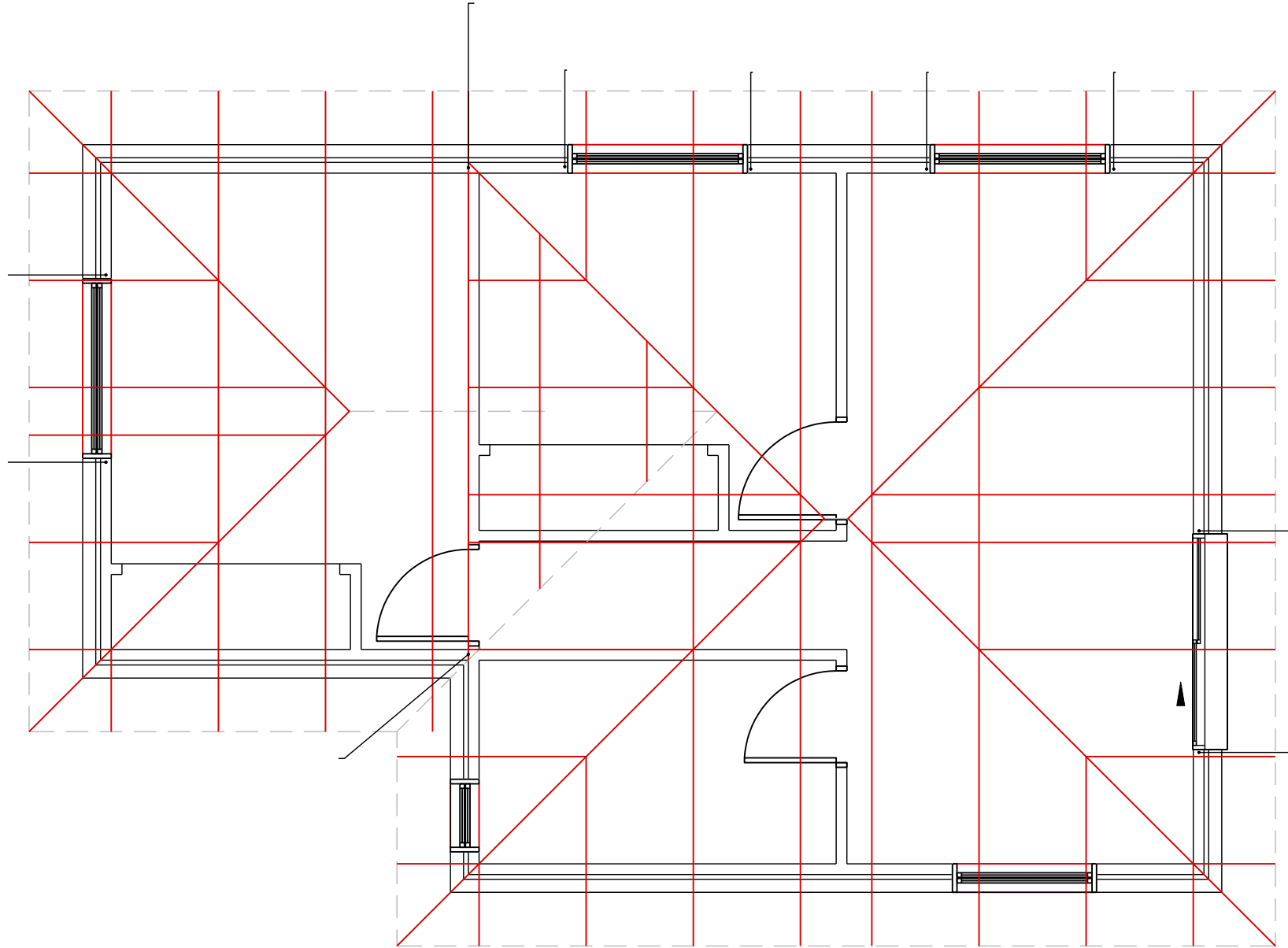
It is imperative that the Builder/sub-contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

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DESIGN, DRAFTING AND BUILDING
16A GLEN LEA ROAD PONTVILLE TAS ACC NO: CC1717
EMAIL: keanandkean@hotmail.com

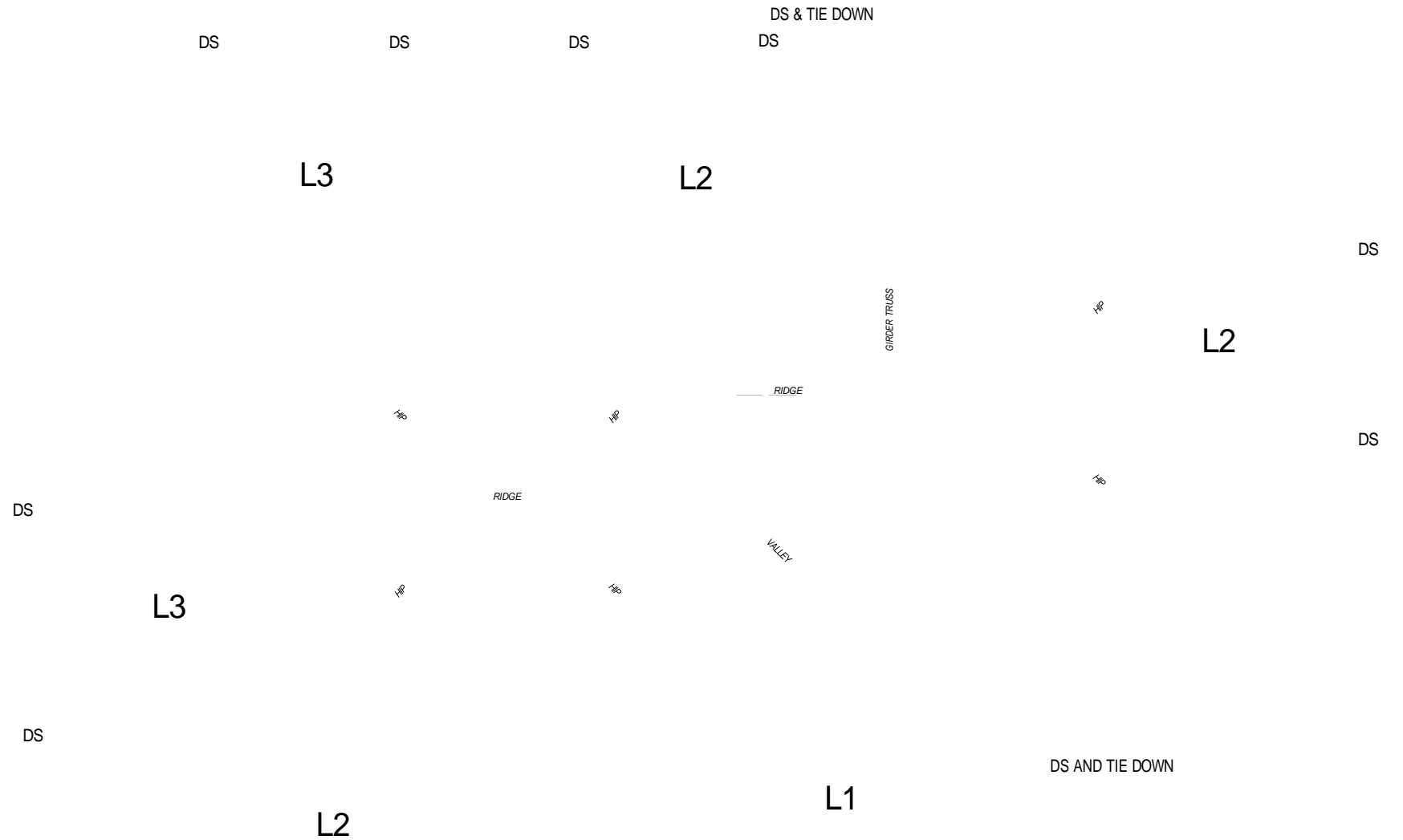
PROJECT:
MULTIPLE DWELLINGS

REVISION No: SHEET SIZE: JOB No: SHEET No:
R:0 A3 CHURCH S02.0



TIMBER FRAME SCHEDULE						
FOR SHEET ROOF SINGLE STOREY OR UPPER STOREY LOAD BEARING WALL OPENINGS.						
MEMBER	SIZE	MATERIAL	GRADE	SPAN	CRITERIA	ADDITIONAL CRITERIA
Studs	90 x 35	R/PINE	MGP10	450 CENTRES		LOAD BEARING WALLS
TOP PLATES *Where trusses are supported directly over studs or within 1.5 times the thickness of the top plate from the studs, top plate thickness may be a minimum of 35mm	Top/ bottom Plates 90 X 35	R/PINE	MGP12			INTERNAL WALLS
	Top Plates 90x45	R/PINE	MGP12	450		EXTERNAL WALLS
	Bottom PL 90 X 45	R/PINE	MGP12	450		EXTERNAL PLATES
LINTELS	90 X 45	KDHW	F17	0- 1100	L1	
	140 x 35	KDHW	F17	1100 - 1700	L2	
	140 x 45	KDHW	F17	1700 - 1900	L3	
	190 X 45	KDHW	F17	1900 - 2500	L4	
	240 X 45	KDHW	F17	2500 - 3100	L5	
DS	2-90 X 35	KDHW	F17			WINDOW STUDS
TRUSSES	900 CENTRES, FULL TRUSS SPECIFICATIONS SUPPLIED WITH TRUSSES					
BATTEN (HOUSE)	90 X 35	R/PINE	MGP12	900	CONT	AT 900 CENTRES/ 600 END SPAN
BATTENS (CEILING)	TOP HAT	STEEL	TS16	900	CONT	AT 450 CENTRES

CONCENTRATED LOADS:
TO SUPPORT CONCENTRATED LOADS (E.G. GIRDER TRUSS), AS A MINIMUM, A DOUBLE STUD IS REQUIRED IN THE WALL FRAME.



TYPICAL TRUSS LAYOUT RF
Scale: 1:50 TO BE CONFIRMED BY TRUSS MANUFACTURER

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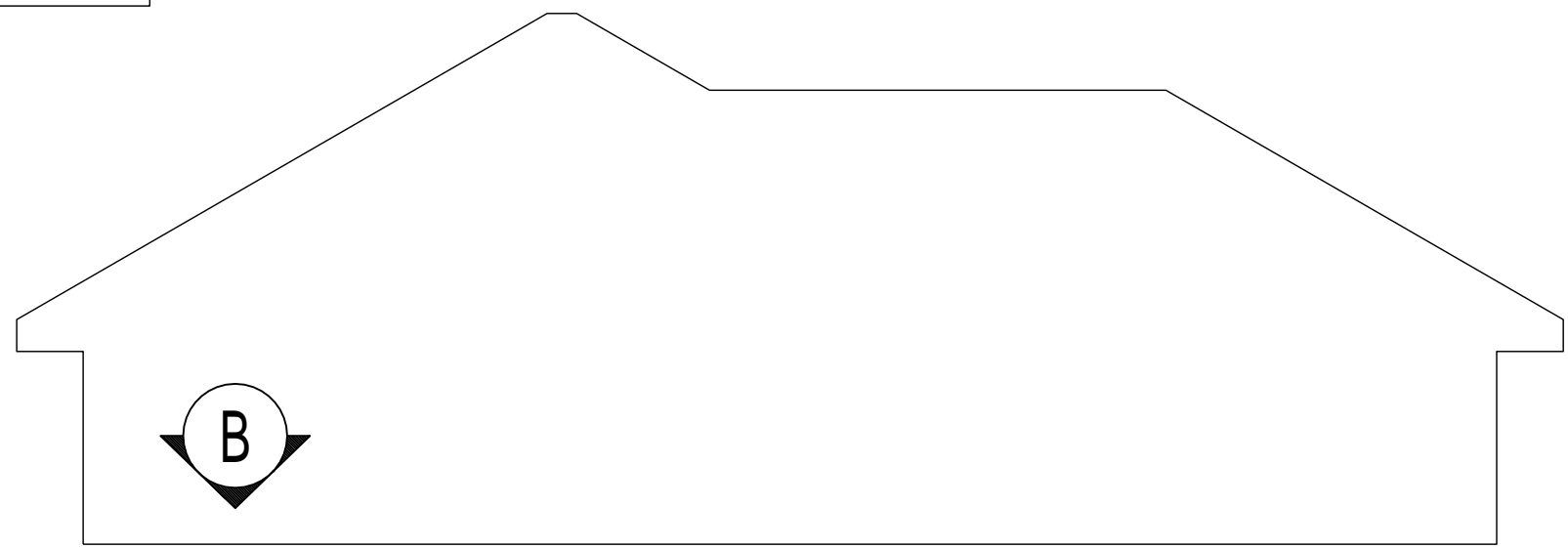
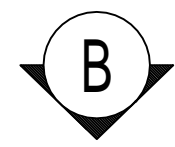
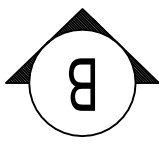
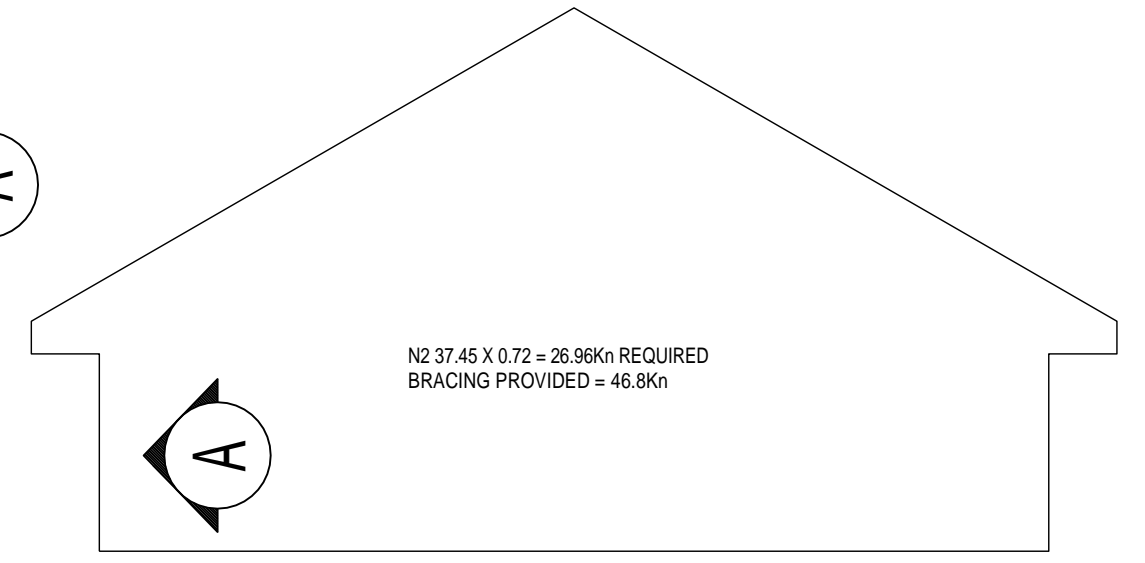
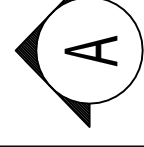
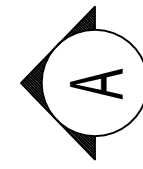
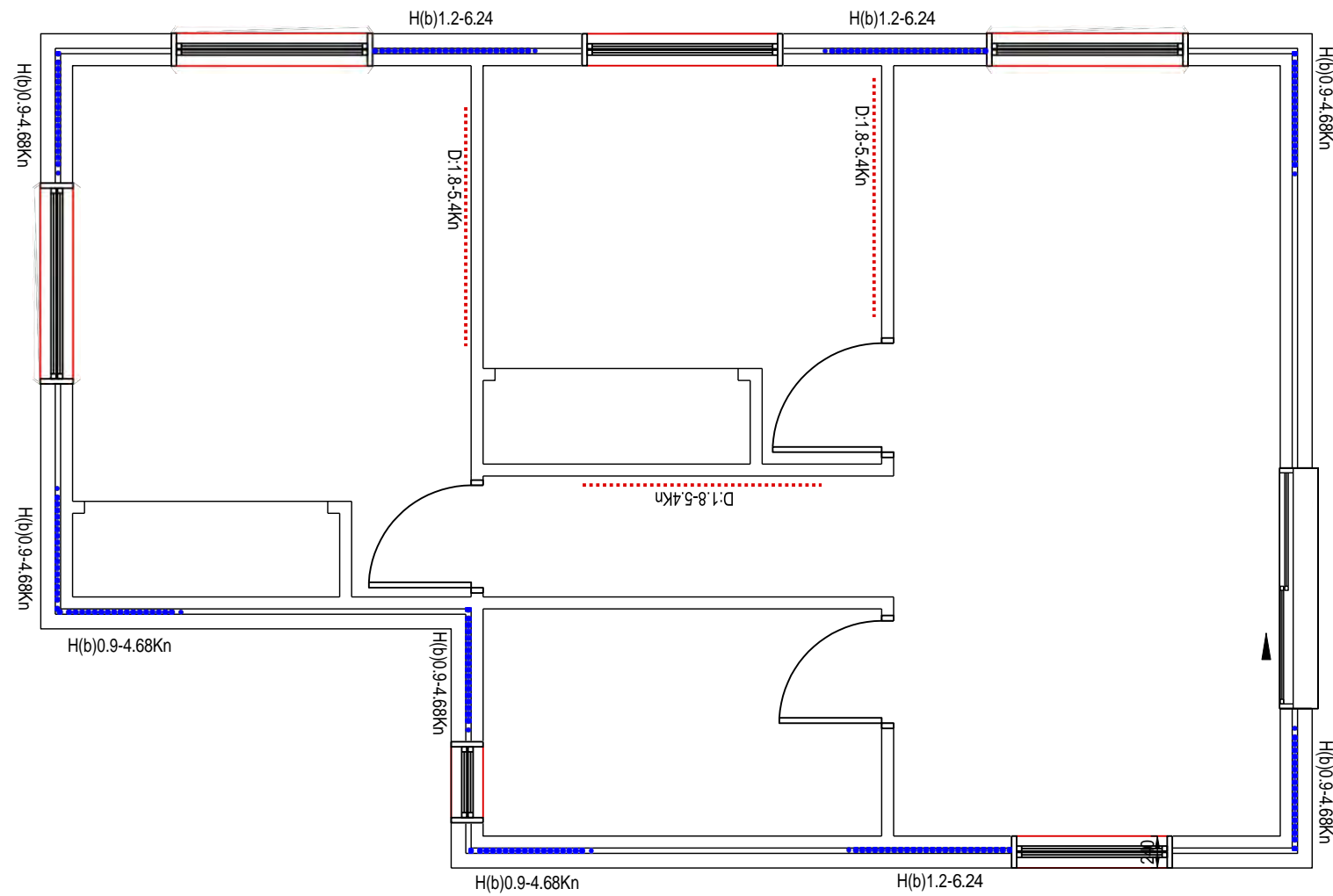
CLIENT NAME:
SOUTHERN MIDLANDS COUNCIL
PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120

DRAWING TITLE:
ROOF FRAME/ LINTELS DWELLING 3

DATE:
6/04/2023

SCALE:
1:50

DRAWN BY:
CK



- TYPE D METAL STRAP BRACING 3K/N PER METRE OF BRACE
- TYPE H(b) PLYWOOD BRACING 5.2K/N PER METRE OF BRACE
- TYPE H(a) PLYWOOD BRACING 5.6K/N PER METRE OF BRACE WITH TIE DOWN RODS BRACING & TIE DOWN TO AS 1684.2 SECTION 8 & 9

B2 BRACING DWELLING 2
Scale: 1:50

DIMENSION NOTE:
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It is imperative that the Builder/sub-contractor and/or manufacturer ensure full set of plans are on hand

and reference has been made to the general notes.

notes.

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PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120

DRAWING TITLE:
BRACING DWELLING 2

DATE:
6/04/2023

SCALE:
1:50

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DESIGN,

DRAFTING AND BUILDING
16A GLEN LEA ROAD PONTVILLE TAS ACC NO: CC1717
EMAIL: keanandkean@hotmail.com

PROJECT:
MULTIPLE
DWELLINGS

REVISION No:
R:0

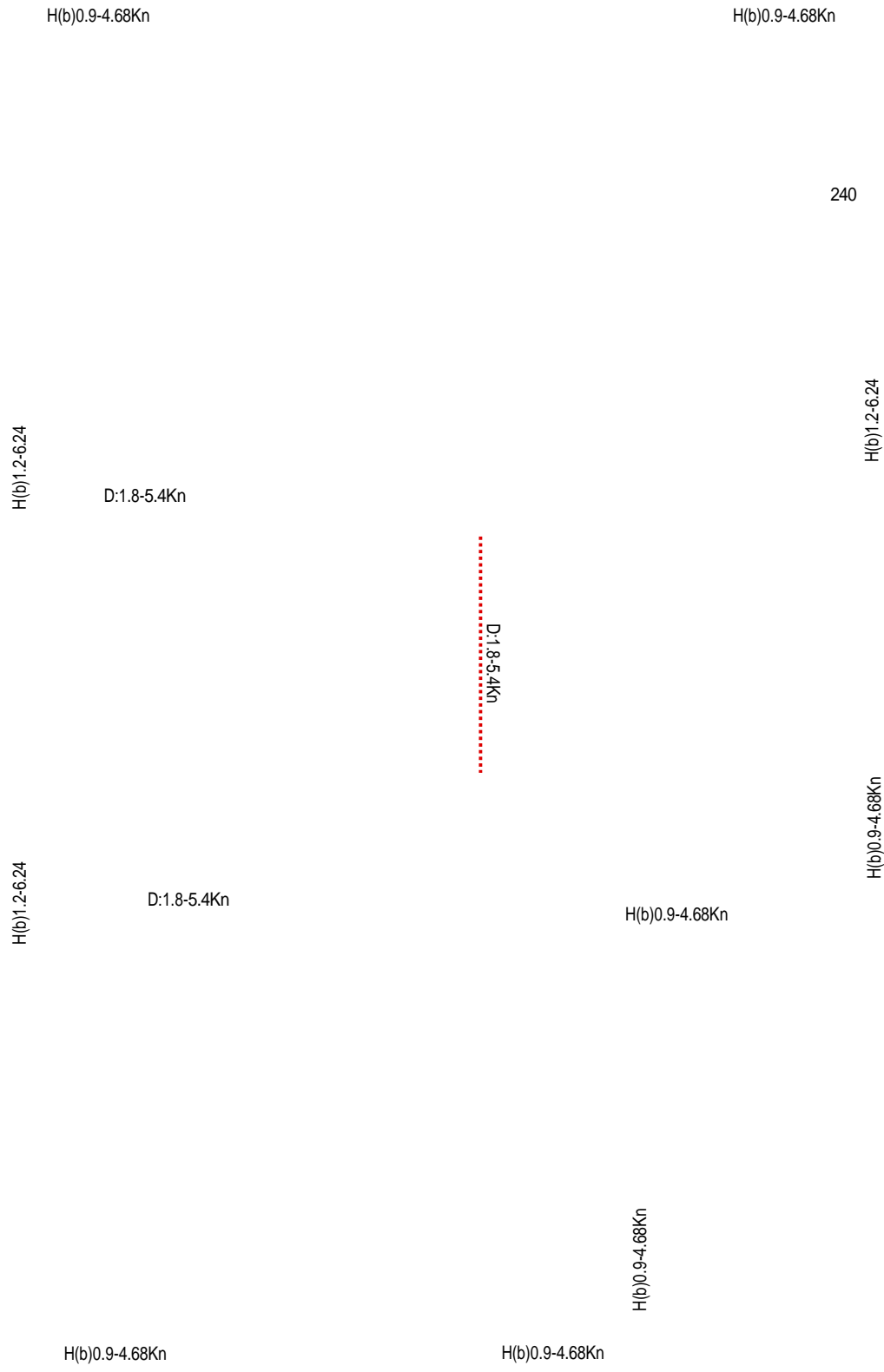
SHEET SIZE: JOB No:
A3 CHURCH

SHEET No:
S04.0

TYPE D METAL STRAP BRACING 3K/N PER METRE OF BRACE

TYPE H(b) PLYWOOD BRACING 5.2K/N PER METRE OF BRACE

TYPE H(a) PLYWOOD BRACING 5.6K/N PER METRE OF BRACE
WITH TIE DOWN RODS
BRACING & TIE DOWN TO AS 1684.2 SECTION 8 & 9



N2 17.2 X 0.82 = 14.1Kn REQUIRED
BRACING PROVIDED = 31.92Kn

N2 27.4 X 0.73 = 20.002Kn REQUIRED
BRACING PROVIDED = 34.2Kn

A

A

B

B3

BRACING DWELLING 3

Scale: 1:50

DIMENSION NOTE:
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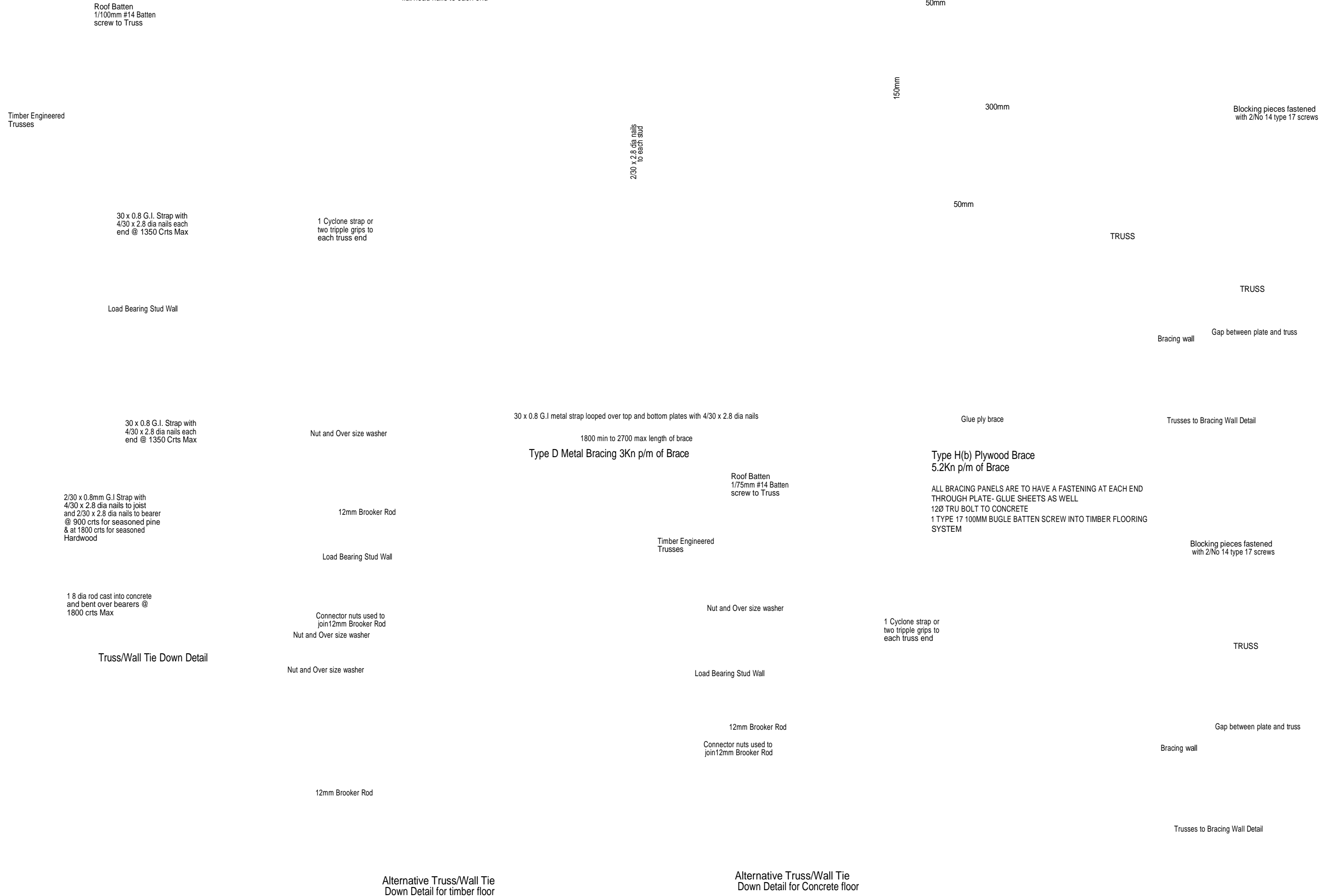
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KEAN &

KEAN

CLIENT NAME:
SOUTH
ERN

MIDLAN
DS
COUNCIL



GENERAL NOTES:

- CHECK ALL DIMENSIONS, BOUNDARIES, EASEMENTS AND SERVICE LOCATIONS ON SITE
- STANDARDS: ALL WORK SHALL COMPLY WITH THE TASMANIAN BUILDING REGULATIONS, AND RELEVANT CURRENT AUSTRALIAN STANDARDS, PARTICULARLY AS 2870 (RESIDENTIAL SLABS & FOOTINGS) AS 3700 (UNIFIED MASONRY CODE) AS 3600 (CONCRETE STRUCTURES)
- ALL FOOTINGS SHALL BE FOUNDED ON SOUND ROCK, CLAY OR SAND FOUNDATIONS HAVING A SAFE BEARING CAPACITY OF AT LEAST 100kpa
- SLAB PREPARATION: BEFORE DISTURBING THE GROUND SURFACE, ERECT SILT FENCES, CONSTRUCT CUTOFF DRAINS AND DETENTION SUMPS AND ENSURE THAT ADEQUATE ALL-WEATHER ACCESS IS PROVIDED TO THE SITE. PREVENT SOIL etc. FROM MIGRATING TO ADJACENT PRIVATE OR PUBLIC LAND IN ACCORDANCE WITH LOCAL COUNCIL POLICY. STRIP VEGETATION AND OTHER ORGANIC MATTER TO BELOW ROOT ZONE. CARRY OUT BULK EXCAVATION WHERE REQUIRED ENSURING AT ALL STAGES THAT THE EXCAVATED AREA IS PROTECTED FROM EXCESSIVE RUNOFF AND PONDING OF WATER CANNOT OCCUR IN ANY FOUNDATION MATERIAL BY PROVISION OF DRAINS etc. BUILD UP WHERE REQUIRED TO ACHIEVE DESIGN LEVELS WITH ROAD BASE MATERIAL THOROUGHLY COMPACTED IN MAX. 100 THICK LAYERS. CONTROLLED FILL SHALL BE EQUAL TO DIER BASE CLASS A (19mm) MATERIAL COMPACTED TO 98% STANDARD COMPACTION AT A MOISTURE CONTROL WITHIN +/- 1% OF OMC. BLIND WITH 30mm COMPACTED SAND AND LAY 0.2mm PVC VAPOUR BARRIER, TAPING ALL JOINTS TO PREVENT MOISTURE TRANSFER.
- ALL CONCRETE TO BE GRADE N25 (20mm NOMINAL AGGREGATE SIZE) PLACED IN ACCORDANCE WITH SECTION 19 OF AS 3600 AND 80mm SLUMP AND TROWEL FINISH
- MAINTAIN 60mm CLEAR CONCRETE COVER TO REINFORCEMENT IN FOOTINGS, 30mm ELSEWHERE
- CURE ALL CONCRETE FOR 7 DAYS (minimum) BY PONDING WITH WATER, COVERING WITH PVC SHEETING OR APPLICATION OF CHLORINATED RUBBER CURING COMPOUND.
- CONCRETE DIMENSIONS SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE CLASSIFICATION OF THIS SITE. ACTUAL FOUNDING DEPTHS MAY VARY TO SUIT FLOOR LEVELS AND THE REQUIREMENTS OF NOTE 3# ABOVE. IT IS NOT NECESSARY TO REMOVE SOLID ROCK SIMPLY TO ACHIEVE FOOTING DIMENSIONS AS LONG AS CONTINUITY AND COVER OF REINFORCEMENT ARE MAINTAINED
- MINIMUM HEIGHT ABOVE GROUND LEVEL TO SLAB TOP TO BE 150mm
- PLUMBING PENETRATIONS TO BE TAPED AND SEALED WITH DENSU TAPE
- PENETRATIONS ARE ONLY PERMITTED THROUGH MIDDLE THIRD OF FOOTING OR BEAM BUT IF IMPOSSIBLE THEN BEAM IS TO BE INCREASED IN SIZE BY PIPE DIAMETER TO 500mm EACH WAY OF CENTRE OF PIPE
- BITUMASTIC SEAL AND WATER PROOFING TO BE PROTECTED DURING CONSTRUCTION AND BACKFILLING MAINTENANCE: FOUNDATION
- WHERE STEELWORK IS EMBEDDED IN CONCRETE DENSU PRIMER D, BITUMEN MASTIC STRIP AND TAPE TO BE INSTALLED OVER STEELWORK

MAINTENANCE IS TO BE CARRIED OUT IN ACCORDANCE WITH AS 2870 APPENDIX B2

: SLAB ON GROUND TO HAVE ADJACENT AREA GRADED TO A MINIMUM OF 1000 FROM SLAB EDGE WITH MINIMUM FALL OF 50mm

: SUSPENDED FLOORS TO HAVE SUB-FLOOR BASE GRADED OR DRAINED TO PREVENT PONDING

: GARDENS SHOULD NOT INTERFERE WITH DRAINAGE REQUIREMENTS OR SUB-FLOOR VENTILATION

: ANY GARDEN NEAR HOUSE FOOTINGS SHOULD NOT BE OVERWATERED.

: PLANTING OF ANY TREES SHOULD BE RESTRICTED TO A MINIMUM DISTANCE OF 3/4 x MATURE HEIGHT FOR INDIVIDUAL PLANTING AND INCREASED FOR A SERIES OF PLANTINGS

: ANY PLUMBING LEAKS INCLUDING SPOUTING AND DOWNPIPES SHOULD BE IMMEDIATELY REPAIRED.

SITE SPECIFIC ROCK NOTE: WHERE A FOOTING OR EDGE BEAM ENCOUNTERS A SINGLE ROCK OUTCROP OR FLOATER OVER A LENGTH LESS THAN 1000mm, THE DEPTH OF THE FOOTING MAY BE REDUCED BY UP TO ONE-THIRD PROVIDED THAT THE AMOUNT OF TOP AND BOTTOM REINFORCEMENT IS DOUBLED AND EXTENDED 500mm PAST THE SECTION WITH REDUCED DEPTH. ALTERNATIVELY, THE FOOTING CAN BE STEPPED OR RAISED PROVIDED THE STRUCTURAL STIFFNESS IS PRESERVED. ATTENTION IS ALSO DRAWN TO NOTES CONCERNING ROCK AND FOUNDATION AS PER THE SOIL REPORT

THE BUILDER IS TO SET OUT THE WORKS IN CONJUNCTION WITH THE ACCOMPANYING PLANS. THE FINAL POSITION IS TO BE CONFIRMED BY THE CLIENT AS TO BEING CORRECT. ALL DIMENSIONS HEIGHTS AND LEVELS ARE TO BE CONFIRMED ON SITE BY ALL PARTIES INCLUDING LOCAL COUNCIL, OWNER AND ENGINEER BEFORE ANY EXCAVATION IS TO BE CARRIED OUT. IF IN DOUBT CONSULT A REGISTERED SURVEYOR.

GENERAL REQUIREMENTS AND RESPONSIBILITIES

- Engineering drawings shall be read in conjunction with associated architectural, surveyor's and sub-contractor's drawings and specifications. Any discrepancies shall be referred to the engineer.
- Certified plans shall take precedence over these notes
- The builder and sub-contractors shall verify all dimensions and levels on site prior to commencing work.
- The builder shall notify the engineer of any structural issues or discrepancies that arise during construction prior to commencing those works.
- The builder is responsible for the design, implementation and certification of all temporary work, propping, needling, false work, bracing and so forth, necessary to complete the work.
- All work shall be carried out in accordance with relevant local Regulations, building codes of Australia and SAA codes. The references given in these notes prescribe the minimum standard of works. The builder is expected to consult all relevant standards.
- Proprietary and prefabricated items shall be used and installed in accordance with the manufacturer's written instructions.
- Engineering site inspections require a minimum of 24 hours notice
- The builder must ensure that construction methods do not cause instability or apply abnormal stresses to structures or foundations.

WELDING

- All works to be carried out in accordance with AS1554.1
- Welding consumables to be E48xx or W50X U.N.O. all welds to be 6mm CFW S category U.N.O. inspection to be carried out as per AS1554.1
- All GP/SP welds to be 100% visually scanned U.N.O

TABLE 1 - DESIGN LOADINGS (U.N.O.)

ELEMENT	MAXIMUM LIVE ACTION
Balconies	2.0 kpa (200 kg/m2)
Residential Floors	1.5 pa (150 kg/m2)
Residential Driveways	2.5 kpa (250kg/m2)
Residential Garages	2.5 pa (250kg/m2)

SITE PREPARATION, DRAINAGE & MAINTENANCE

- All site works shall be in accordance with BCA , CSIRO BTF 18, 19, 22 and AS2870.
- All trees, stumps, roots and other vegetation shall be removed to a satisfactory depth below the natural surface where supporting fill concrete footings or concrete slabs.
- In all but free draining soils an Ag-Drain should be provided to the upslope of footings prior to excavation as per DETAIL 3.
- Where an excavation or fill region requires a battered bank the angle of the bank shall be selected to suit the material. As a guide refer to Detail 1.
- The finished ground surface at the perimeter of all footings, including the ground at the base of a cutting, shall fall away at min. 5% over 1m and shall be covered in a suitable material to control evaporation and avoid the ingress of surface water as per Detail 3.
- Services parallel to the edge of a footing shall not extend below a line drawn at 30° (in sand) or 45° (in firm clay) from the bottom edge of the footing as per Detail 4.
- Excavations near the edge of the footing system shall be backfilled in such a way as to minimise the ingress of water into the foundation. Fill shall be moist clay compacted by hand rodding or tamping. Porous material such as sand, gravel or building rubble should not be used.
- Water run-off shall be collected and channelled away from the house during construction and down pipes shall be temporarily connected to drainage system during construction.
- The overflow/discharge from hot water cylinders and heat pumps shall be plumbed into a drainage system.
- Appropriate consideration should be given to the planting distance of trees and shrubs from the edge of a footing. Details of correct planting distances can be found in AS2870 appendix 8 and CSIRO BTF 18.

DETAIL 1 - UNPROTECTED EMBANKMENTS (NOT SUPPORTING STRUCTURES)

Batter banks to safe angle of repose. If site conditions are not suitable for battered bank notify engineer to provide suitable retraining wall design. Embankments that are to be left exposed must be stabilized by vegetation or similar works to prevent soil erosion. Provide a surface water interceptor to the top of banks where the up-slope gradient exceeds 15.

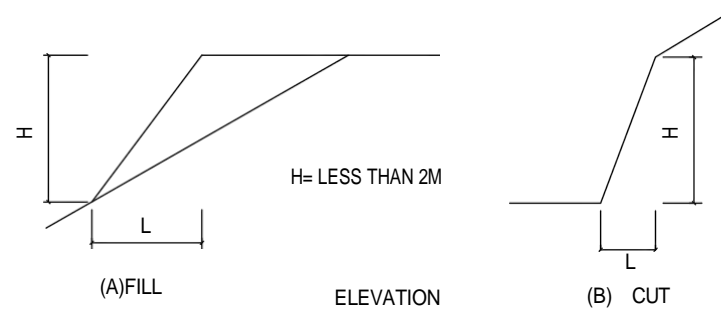


TABLE 2-GUIDE TO EMBANKMENT SLOPES		
SOIL TYPE (REFER BCA 3.2.4)	EMBANKMENT SLOPES	
	COMPACTED FILL	CUT
STABLE ROCK (A)	2:3	8:1
SAND (A)	1:2	1:2
SILT (P)	1:4	1:4
CLAY	FIRM CLAY	1:2
	SOFT CLAY	NOT SUITABLE
soft soils (p)	NOT SUITABLE	NOT SUITABLE

LEVELS FOR CLASS 1 BUILDINGS

- Levels shall comply with the requirements of the BCA and relevant authorities.
- The minimum height of a slab above finished ground level shall be 150mm, except in sandy, well drained areas where the minimum height shall be 100mm. These heights can be reduced locally to 50mm where there is an adjoining paved area that slopes away from the building. These restrictions do not apply to below ground slabs which are protected by fully water-proofed and drained retaining walls.
- The minimum slab height may be also be affected by overflow gully risers. Damp proof courses in masonry walls and other floor level restrictions. Refer to AS3700 CL 12.7.2.4. and AS3500.2 CL4.6.6.16. for more detail.
- A minimum of 150mm clearance below bearers shall be maintained in timber framed construction for sub-floor ventilation as per the BCA CL 3.4.12.
- The engineer must be notified if site levels differ from those shown on site plans.

CONTROLLED FILL

- Controlled fill shall be laid in strict in accordance with AS2870 and AS3798 requirements the following method is approved by ENGINEER
 - Fill material shall be well graded FCR.
 - The sub graded shall be checked for bearing capacity which is a minimum of 50 kPa for slabs and a minimum of 100 kPa for footings.
 - The fill shall be compacted in horizontal layers of not more than 150mm
 - The fill shall be compacted to a minimum density ratio of 95% for residential applications. It is the builders responsibility to ensure that this level of compaction is achieved.
- Imported material Contrary to the above specification, intended for use as structural fill shall be approved in writing by the engineer prior to use

CONCRETE

- Concrete shall be not less than N20 grade, with 20mm nominal maximum aggregate size. Slump shall be selected to suit the construction conditions. Unless noted otherwise the minimum appropriate specifications from AS3600 and as 2870 shall be adopted. As a guide for concrete properties refer Table 3.
- Sawn control joints shall be constructed as soon as possible without raveling the joint. Generally this shall be within 24 hours.
- Concrete shall be cured for a minimum of 7 days using current best practice methods.
- Concrete shall be mechanically vibrated U>N>U>
- Additional water shall not be added to the concrete on site unless signed by the driver and approved by the supplier.
- Where brittle floor coverings are to be used over an area greater than 116m² extra measures shall be taken to control the effect of shrinkage cracking including one of the following:
 - The amount of shrinkage reinforcement shall be increased to a minimum of SL92 or equivalent throughout the affected slab panels. Alternatively, an additional sheet of slab mesh shall be placed over the affected area.
 - The bedding system for brittle coverings shall be selected on the basis of the expected slab movement and the characteristics of the floor covering
 - The placement of floor coverings shall be delayed. A minimum period of Three months drying of the concrete is usually required before the placement of brittle floor coverings.

TABLE 3 - CONCRETE MEMBER PROPERTIES (U.N.O.)

ELEMENT	MIN. GRADE	SLUMP	MIN.COVER
Strip footing	N20	100mm	50mm
Mass Piers	N20	100mm	50mm
Slab on ground (Internal)	N25	100mm	25mm
Slab on ground (External)	N25	100mm	40mm
Suspended slab (Internal)	N32	100mm	25mm
Suspended slab (External)	N32	100mm	40mm
Columns (Internal)	N32	100mm	30mm
Columns (External)	N32	100mm	50mm
Retaining wall	N25	120mm	50mm

Normal slump indicated - modify to suit atmospheric conditions at time of pouring.

STRUCTURAL STEEL

- All structural steel to comply with requirements of AS4100 and AS/NZ4600.
- Design shall conform to AS4100 and AS 1538. Fabrication shall be carried out in accordance with the provisions of AS4100.
- U.N.O. Structural sections are to be:
 - Grade 250 hot rolled plates complying with AS3678:
 - Grade 250 hot rolled flats, TFC, TFB, angles 100 x 100 EA or 125 x 75 UA and smaller complying with AS3679.1:
 - Grade 300 WB, WC complying with AS3679.2:
 - Grade 350 RHS, CHS complying with AS1163.
- All steel work is to be cleaned to a suitable AS1627 class and coated with an approved corrosion protection as per BCA CL 3.4.4.2.

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CLIENT NAME:
SOUTHERN MIDLANDS COUNCIL

PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120

PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
CONCRETE NOTES

DATE: 6/04/2023	SCALE: N/A	DRAWN BY: CK
REVISION No: R:0	SHEET SIZE: A3	JOB No: CHURCH
		SHEET No: S05.0

SITE SAFETY NOTES

These Notes Must Be Read And Understood By All Involved In The Project

This includes (but is not excluded to): Owner Builder, Sub-Contractors, Consultants, Renovators, Operators, Mainteners & Demolishers

1. FALLS, SLIPS AND TRIPS

1.1 WORKING AT HEIGHTS

1.1.1 DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off site or at ground level to minimise the risk of workers falling more than two metres. However, construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The Builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

1.1.2 DURING OPERATION OR MAINTENANCE

Houses or other low-rise buildings where scaffolding is appropriate: Cleaning and maintenance of windows, walls, roofs or other components of this building will

require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is required, scaffolding, ladders and trestles should be used in accordance with relevant codes of practice, regulations or legislation.

Buildings where scaffolding, ladders and trestles are not appropriate: Cleaning and maintenance of windows, walls, roofs or other components of the building will require persons to be situated where a fall from a height in excess of two metres is possible.

Where this type of activity is required, fall barriers or Personal Protective Equipment (PPE) Should be used in accordance with relevant codes of practice, regulations or legislation.

1.1.3. ANCHORAGE POINTS

Anchorage points for portable scaffold or fall arrest devices have been included in the design for use by maintenance workers. Any person engaged to work on the building after completion of construction work should be informed about the anchorage points.

1.2 SLIPPERY OR UNEVEN SURFACES

1.2.1. FLOOR FINISHES - Specified

If finishes have been specified by the Designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

1.2.2 FLOOR FINISHES - By Owner

If the Designer has not been involved in the selection of surface finishes, the Owner is responsible for the selection of surface finishes in the pedestrian-trafficable areas of the building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZS 4586:2004.

1.2.3 STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to the design requirements for the building, steps and/or ramps are included in the building that may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warnings during construction, maintenance, demolition, and at all times when the building operates as a workplace.

Building owners and occupiers should monitor the pedestrian access ways and, in particular, access to areas where maintenance is routinely carried out, to ensure that surfaces have not moved or cracked such that they become uneven and present a trip hazard. Spills loose material, stray objects or any other matter that may cause a slip or trip should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce risk of trips and falls at the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

2.1 LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around the building is likely to involve persons working above ground level or above floor levels. Where this occurs, one of the following measures should be taken to avoid objects falling, from the area where work is being carried out, onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toe boards to scaffolding and work platforms.
3. Provide a protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment

2.2 BUILDING COMPONENTS

During construction, renovation or demolition of the building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse, which may injure persons in the area is a possibility.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured, and that access to areas below the load is prevented or restricted, where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturers' recommendations for use must be carefully considered at all times.

3. TRAFFIC MANAGEMENT

Buildings on a major road, narrow road or steeply incline road:

Parking of vehicles or loading/unloading of vehicles on the road way may cause a traffic hazard During construction, maintenance or demolition of the building, designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for supervision of these areas.

Buildings where on-site loading/unloading is restricted:

Construction of the building may require loading and unloading materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

All Buildings:

Busy construction and demolition sites present a risk of collision when deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be implemented for the work site.

4. SERVICES

General:

Rupture of services during excavation for other activity creates a variety of risks including release of hazardous material. Existing services may be located on or around the building site. Where known, these are identified on the drawings, but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig, Telstra etc.), appropriate excavation practice should be used and, where necessary, specialist contractors should be engaged.

Locations with underground power lines:

Underground power lines may be located in or around the site. All underground power lines must be disconnected or accurately located and adequate warning signs used prior to any construction, maintenance or demolition work commencing.

Locations with overhead power lines:

Overhead power lines may be located on or near the site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical, adequate warning in the form of bright-coloured tape or signage should be used, or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by a mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way that minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of the building will require the use of portable tools and equipment. These should be fully maintained in accordance with the manufactures' specifications and not used where faulty or, in the case of electrical equipment, not carrying a current electrical safety tag.

All safety guards and devices should be regularly checked and Personal Protective Equipment should be used in accordance with the manufacturers' specification.

6. HAZARDOUS SUBSTANCES

6.1 ASBESTOS

For alterations to or demolition of a building constructed prior to 1990, if the building was constructed prior to:

1990 - it may contain asbestos.

1986 - it is likely to contain asbestos.

either in cladding material or in fire-retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

6.2 POWDERED MATERIALS

Many materials used in construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment, including protection against inhalation while using powdered material or when sand, drilling, cutting or otherwise disturbing or creating powdered material.

6.3 TREATED TIMBER

The design of the building may include provision for inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

6.4 VOLATILE ORGANIC COMPOUNDS

Many types of glues, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturers' recommendations for use must be carefully considered at all times.

6.5 SYNTHETIC MINERAL FIBRE

Glass fibre, rock wool, ceramic and other material used for thermal or acoustic insulation may contain synthetic mineral fibre which may be harmful if inhaled, or if it comes into contact with the skin, eyes or other sensitive parts of the body. Personal Protective Equipment, including protection against inhalation of harmful material, should be used when installing, removing or working near bulk insulation material.

6.6 TIMBER FLOORS

The building may contain timber floors that have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application, and for a period after installation. Personal Protective Equipment may also be required. The manufacturers' recommendations for use must be carefully considered at all times

7. CONFINED SPACES

7.1 EXCAVATION

Construction of the building and some maintenance on the building may require excavation and installation of items within the excavation. Where practical, installation should be carried out using methods that do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

7.2 ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required: Enclosed spaces within the building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

7.3 SMALL SPACES

For buildings with small spaces where maintenance or other access may be required: some small spaces within the building may require access by construction and maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces, they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and the public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations plant or loose materials are present, they should be secured when fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

The building has been designated as a residential building. If the building, at a later date is used or intended for use as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement legislation should be applied to the new use.

NON-RESIDENTIAL BUILDINGS

Non-residential buildings where the end-use has not been identified. The building has been designed to requirements of the classification identified on the drawings. The specific use of the building is not known at the time of the design and a further assessment of the workplace health and safety issues should be undertaken at the time of fit-out for the end user.

Non-residential buildings where the end-use is known.

The building has been designed for the specific use as identified on the drawings. Where a change of use occurs at a later date, a further assessment of the workplace health and safety issues should be undertaken.

10. OTHER HIGH-RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace. AS/NZS 3012 and all licensing requirements.

All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work.

Due to the history of serious incidents, it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All above applies.

DIMENSION NOTE:
Use written dimensions only. Do not scale from drawings. All figured dimensions are to be used as a guide only. It is imperative that all dimensions, setbacks and levels be confirmed on site by the Builder/Surveyor or sub-contractor prior to the commencement of work, manufacture and installation. It is imperative that the Builder/sub-contractor and/or manufacturer ensures a full set of plans are on hand and reference has been made to the general notes.

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CLIENT NAME:
SOUTHERN MIDLANDS COUNCIL

PROJECT ADDRESS:
16 CHURCH STREET, OATLANDS TAS 7120

PROJECT:
MULTIPLE DWELLINGS

DRAWING TITLE:
OHS REQUIREMENTS

DATE:
6/04/2023

SCALE:
N/A

DRAWN BY:
CK

REVISION No:
R:0

SHEET SIZE:
A3

JOB No:
CHURCH

SHEET No:
OHS